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Preliminary Site Investigation - 7a-11
Racecourse Road and 32-50 Young
Street, West Gosford

27 March 2023

Prepared for:

Waluya Pty Ltd

Prepared by:

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**PRELIMINARY SITE INVESTIGATION - 7A-11 RACECOURSE ROAD AND 32-50 YOUNG STREET,
WEST GOSFORD**

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**PRELIMINARY SITE INVESTIGATION - 7A-11 RACECOURSE ROAD AND 32-50 YOUNG STREET,
WEST GOSFORD**

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Executive Summary

Stantec Australia Pty Ltd ('Stantec') was engaged by Waluya Pty Ltd ('the client') to undertake a Preliminary Site Investigation (PSI) to assess for potential contamination at 7a-11 Racecourse Road and 32-50 Young Street, West Gosford, NSW ('the site'). The site and relevant figures are presented in **Appendix A**. A PSI was requested by the Department of Planning and Environment (DPE) to support the Development Application (DA) for the site.

The proposed redevelopment for the site is a bus depot and is expected to accommodate bus parking, with associated servicing workshops, office administration and staff parking. The proposed layout of the bus depot is presented in **Plate 1, Section 1.0**.

The purpose of the investigation was to gather preliminary contamination information for the site and provide advice on potential construction constraints. Based on the results of this investigation the following known contaminating sources and activities have been identified:

- Deteriorating asbestos building materials in buildings/structures and proximal soils
- Cutting and fill materials of unknown quality or quantity across site
- Fly-tipped demolition and other wastes across the site
- Historical use as a materials storage and/or laydown area across the eastern portion of site in 1965-1991 (south-east) and 1994-2010 (north-east) including demolished buildings and foundations
- Historical use as a layover carpark for the Gosford Racecourse
- Historical industrial activities up-gradient and in proximity to site (i.e. motor garages)
- Potential presence of two abandoned underground storage tanks, historically containing flammable liquids.

Based on potentially completed Source-Pathway-Receptor (SPR) linkages these sources are considered to pose a potential risk to the following receptors:

- Current site users and future site users under a commercial and industrial setting
- Future demolition and construction workers undertaking excavations on site
- Soil dependent biota.

The identified potential sources of contamination have been preliminarily classified as having a low or medium likelihood of complete exposure pathway for human and ecological receptors. Despite this, the information provided in this report is preliminary in nature and has not confirmed actual conditions or potential contaminant concentrations through sampling and analysis of potentially impacted media. Currently it is not possible to make a statement on site suitability for the intended land-use and development.

RECOMMENDATIONS

Based on these findings, we recommend further investigation to determine the extent and nature of the contamination at the site. This will involve soil, ground gas and groundwater sampling and laboratory analysis to identify any contaminants risk present. The following recommendations are



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necessary to manage potential contamination issues that may inform future land development planning approvals and construction design of the site:

- Conduct a Detailed Site Investigation (DSI) to confirm the presence of contaminant sources and contaminated materials within the identified sources. The DSI would seek to determine if a risk to human and ecological receptors exists, whether there is the potential for off-site migration of any identified contaminants and/or if management and consideration is required during construction.
- Undertake a historical titles search of the site which may provide pertinent information in regards to whether the underground storage tanks exist on site. If confirmed, attempt to locate, sample during the DSI fieldwork. It is further recommended that additional groundwater wells be installed to assess groundwater the conditions beneath the site.
- In the event the DSI identifies CoPC above the adopted site criteria investigation levels, the site may require further investigation in the form of a Data Gap Investigation (DGI). This would further clarify the risk to human and ecological receptors and/or recommend appropriate site remediation measures that can be implemented to mitigate potential impacts on human health and the environment, coupled with management and consideration required during construction.
- An updated Hazardous Building Materials (HBM) survey should be undertaken prior to any demolition to assess the condition of hazardous building materials and areas identified in the Getex, 2020 Asbestos Building Materials Register and Management Plan. Any information on asbestos clearance and/or remediation activities for friable soils on site, if available should be identified and provided.
- All materials that are to leave the site intended for waste disposal or beneficial re-use must be classified in accordance with the NSW EPA *Waste Classification Guidelines*, (November 2014) and/or applicable NSW EPA *Resource Recovery Orders*.



Abbreviations

| | |
|------|--|
| ACM | Asbestos Containing Material |
| AFFF | Aqueous Film Forming Foams |
| ASS | Acid Sulfate Soil |
| BTEX | Benzene, Toluene, Ethylbenzene and Xylene |
| CEMP | Construction Environmental Management Plan |
| COPC | Chemicals of Potential Concern |
| CSM | Conceptual Site Model |
| DGI | Data Gap Investigation |
| DP | Deposited Plan |
| DPE | Department of Planning and Environment |
| DSI | Detailed Site Investigation |
| EPA | Environment Protection Authority |
| FA | Friable Asbestos |
| HBM | Hazardous Building Materials |
| LGA | Local Government Area |
| m | metres |
| mBGL | metres Below Ground Level |
| NEPC | National Environmental Protection Council |
| NEPM | National Environmental Protection Measures |
| NSW | New South Wales |
| OCP | Organochlorine Pesticides |
| OPP | Organophosphorus Pesticides |
| PAH | Polycyclic Aromatic Hydrocarbons |
| PCB | Polychlorinated Biphenyls |



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| | |
|------|---|
| PFAS | Perfluoroalkyl and Polyfluoroalkyl Substances |
| PoEO | Protection of Environment Operations |
| PSI | Preliminary Site Investigation |
| SVOC | Semi-volatile Organic Compound |
| SEPP | State Environmental Planning Policy |
| SPR | Source-Pathway-Receptor |
| SWL | Standing Water Level |
| TRH | Total Recoverable Hydrocarbons |
| VOC | Volatile Organic Compounds |



Glossary

| | |
|------------|--|
| The client | Waluya Pty Ltd |
| The site | Refers to the investigation area at 7a-11 Racecourse Road and 32-50 Young Street, West Gosford 2250 which is made up of fourteen Lots and Deposited Plan (Table 2-1). The total area is about 2.1 hectares. |
| Stantec | Stantec Australia Pty Ltd |



PRELIMINARY SITE INVESTIGATION – 7A-11 RACECOURSE ROAD AND 32-50 YOUNG STREET, WEST GOSFORD

Introduction

1.0 INTRODUCTION

Stantec Australia Pty Ltd ('Stantec') was engaged by Waluya Pty Ltd ('the client') to undertake a Preliminary Site Investigation (PSI) to assess for potential contamination at 7a-11 Racecourse Road and 32-50 Young Street, West Gosford, NSW ('the site'). The site and relevant figures are presented in **Appendix A**. A PSI was requested by the Department of Planning and Environment (DPE) to support the Development Application (DA) for the site (DPE, 2021).

The proposed redevelopment for the site is a bus depot and is expected to accommodate bus parking, with associated servicing workshops, office administration and staff parking. The proposed layout of the bus depot is presented in **Plate 1** below.

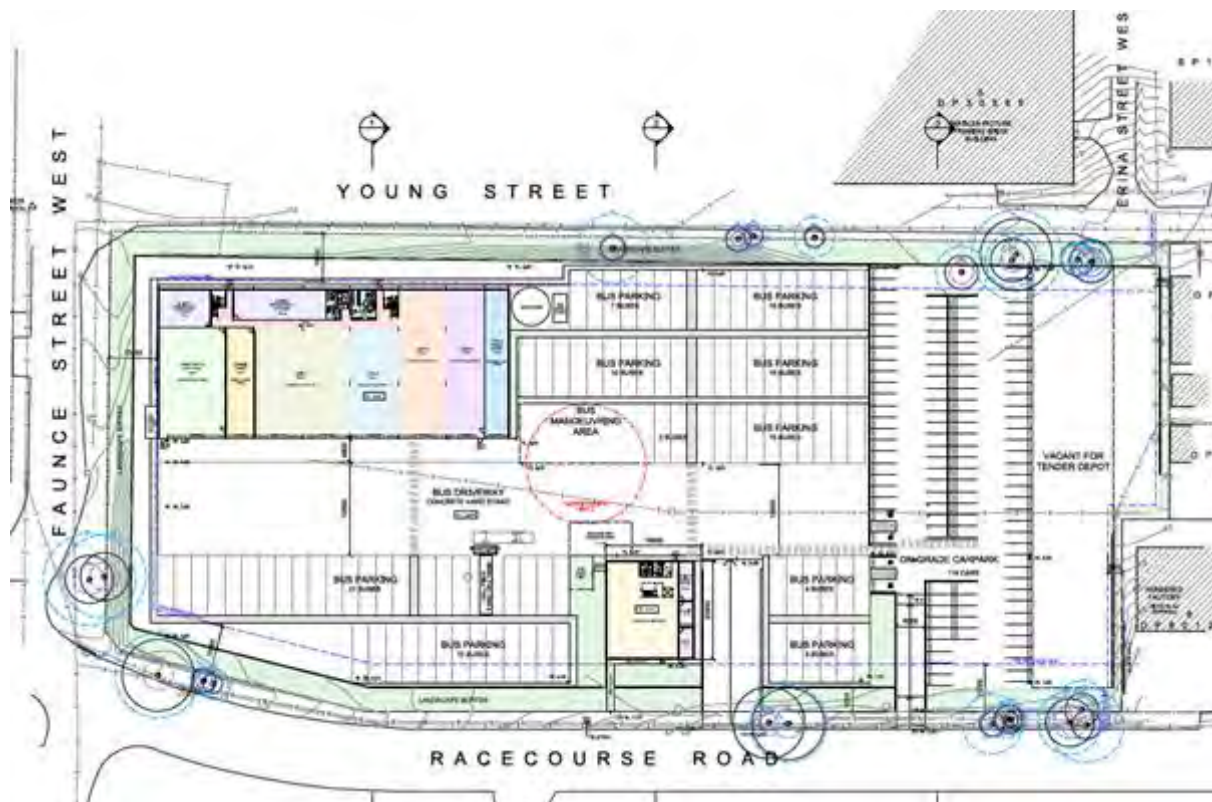


Plate 1: Proposed bus depot development layout at 7a-11 Racecourse Road and 32-50 Young Street, West Gosford



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Introduction

1.1 PURPOSE AND OBJECTIVES

The purpose of this investigation and report is to address the requirements by DPE for a PSI to be completed for the site (DPE, 2021).

The objectives of the PSI are to assess whether contamination has the potential to exist on site and whether further investigation is required.

1.2 SCOPE OF WORKS

Stantec carried out the following scope of work to meet the objectives of the PSI. A desktop study of information for the site and surrounds. This desktop study included a review of:

- Relevant maps for the site including geological, hydrogeological, topographical, landscape and acid sulfate soils
- Historical aerial photographs regarding previous site and surrounding land use
- SafeWork Hazardous Chemicals on Premises records for the site
- NSW EPA contaminated land records and Protection of the Environment Operations Act 1997 (PoEO) Licenses
- Review of 10.7 Certificate
- Review of previous environmental reports (where relevant)
- Underground utilities plans available from Before You Dig Australia (BYDA)
- A site walkover by an experienced contaminated lands professional and interview(s) with site owners and/or relevant site operators
- Preparation of this report detailing findings, conclusions, and recommendations.

1.3 APPLICABLE GUIDELINES AND LEGISLATION

The scope of this PSI has been developed in general accordance with the following guidelines and legislation:

- Contaminated Land Management Act 1997 (CLM Act)
- Protection of the Environment Operations Act 1997 (PoEO Act)
- State Environmental Planning Policy (Resilience and Hazards) 2021
- National Environment Protection (Assessment of Site Contamination) Measure (NEPM), amended 2013 (NEPC, 2013)
- NSW Department of Planning and Environment, State Environmental Planning Policy (Resilience and Hazards) 2021
- NSW Environment Protection Authority Guidelines for the NSW Site Auditor Scheme, 3rd Edition (NSW EPA, 2017)
- NSW EPA Consultants reporting on contaminated land; Contaminated land guidelines (NSW EPA, 2020)
- Guidelines on the Duty to Report Contamination under the Contamination Land Management Act 1997 (NSW EPA 2015).



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Site Description and Setting

2.0 SITE DESCRIPTION AND SETTING

Site details are presented in **Table 2-1** below, and the site plan, surrounding land use and regional vicinity are presented in **Appendix A**.

Table 2-1 Site identification

| Details | Comments |
|---|---|
| Site address | 7a-11 Racecourse Road and 32-50 Young Street, West Gosford, NSW 2250 |
| Approximate overall site area (ha) | 2.1 ha |
| Lot and Deposited Plan (DP) | <ul style="list-style-type: none">• Lot 1, DP651249• Lot 6, DP801261• Lot 11, DP758466• Lot 12, DP1100110• Lot 13, DP1100206• Lot 14, DP1100206• Lot 15, DP1100216• Lot 16, DP1079150• Lot 18, DP1100223• Lot 20, DP758466• Lot 71, DP810836• Lot 72, DP810836• Lot 73, DP810836• Lot 74, DP810836. |
| Local Government Area (LGA) | Central Coast LGA. |
| Current land use | The site currently contains grassed areas with a perimeter of remnant unmanaged bushland, areas of hard stand, and several empty buildings and an unsealed driveway. The buildings comprise a two-storey dwelling and several associated buildings for enclosing horses. |
| Surrounding land use | Industrial, recreational and residential. |
| Current zoning- (Gosford Local Environmental Plan 2014) | The site is entirely zoned as B6 (Enterprise Corridor) under the <i>Central Coast Local Environment Plan</i> (LEP) 2022. The zone has the following objectives: <ul style="list-style-type: none">• To promote businesses along main roads and to encourage a mix of compatible uses.• To provide a range of employment uses (including business, office, retail and light industrial uses).• To maintain the economic strength of centres by limiting retailing activity.• To provide for residential uses, but only as part of a mixed use development.• To provide primarily for businesses along key corridors. |
| Site coordinates- (NSW SIX Maps, GDA2020 MGA56) | 344633.725, 6300661.117 |

2.1 SITE DESCRIPTION

Site information from publicly available data sets and the provided information in the Lotsearch Report (LS039106_EP, 2022) is summarised below in **Table 2-2**. The Lotsearch Report is attached in **Appendix C**.



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Site Description and Setting

Table 2-2 Site description

| Item | Information |
|---|--|
| Site topography and drainage features (NSW SIX Maps) | <p>Overall, the site has a moderate slope, with all areas of the site sloping to the south-west. The elevation decreases by 14 m between 16 m Australian Height Datum (AHD) and 4 m AHD, from the top north-east corner to the bottom south-west.</p> <p>Surface run-off is expected to flow down gradient and infiltrate exposed surface soils on site.</p> |
| Nearby water bodies (NSW SIX Maps) | <p>The site is located approximately 1 km north of Brisbane Water and about 650 m east of Narara Creek (receiving waterbody). There are no waterways or waterbodies present on site.</p> |
| Acid sulfate soil (NSW DPE, CSIRO) / rock risk (NSW Department of Industry, Resources and Energy) | <p>A review of coastal Acid Sulfate Soil (ASS) risk maps shows the site is not mapped in an area of ASS risk. Lands adjacent east and south east of the site across Racecourse Road are mapped as Disturbed Terrain with potential for ASS between 0 and 1 m below ground level (mBGL).</p> <p>Under the Central Coast LEP the site is mapped in a Class 5 area for ASS planning controls, in these areas development consent is required when:</p> <ul style="list-style-type: none"> • Works within 500 m of adjacent Class 1, 2, 3 or 4 land that is below 5 m Australian Height Datum (AHD) and by which the watertable is likely to be lowered below 1 mAHD on adjacent Class 1, 2, 3 or 4 land. <p>The site is not situated on an area of naturally occurring asbestos.</p> |
| Groundwater (WaterNSW, 2019) | <p>A search of the WaterNSW publicly registered bore data base identified seven registered bores within 500 m of the site. The closest groundwater bore is located 136 m north-west of site within the Gosford Racecourse precinct, the bore is used for monitoring purposes and was drilled to a total depth of 42.5 mBGL. The Standing Water Level of this well was recorded at 12.60 mBGL. This groundwater bore is considered cross gradient to site.</p> <p>Further available information on other registered groundwater bores in proximity to site are presented in Appendix C.</p> <p>The aquifer present on site is expected to be porous, extensive and of low to moderate productivity (Geoscience Australia, 2022) (Appendix C).</p> |
| Site soil landscapes (NSW DPIE) | <p>The site is located within two (2) soil landscapes. The majority of the site is mapped as the Erina Landscape, and a small area in the south-west of the site mapped as Disturbed Terrain. The soil landscapes present on site are described below:</p> <ul style="list-style-type: none"> • Erina: undulating to rolling rises and low hills on the Terrigal Formation. Local relief <60 m; slope gradients <25%. Rounded narrow crests with moderately inclined slopes. Extensively cleared tall open-forest with open-heathland in exposed coastal areas. Limitations associated with this landscape include mass movement (localised), high soil erosion hazard, foundation hazard (localised), localised high run-on, seasonal waterlogging of footslopes, strongly acid soils of low fertility. • Disturbed Terrain: level plain to hummocky terrain, extensively disturbed by human activity, including complete disturbance, removal or burial of soil. Local relief and slopes highly variable. Landfill includes soil, rock, building and waste materials. Original vegetation completely cleared, replaced with turf or grassland. Limitations associated with this landscape include highly variability, mass movement hazard, steep slopes, foundation hazard, unconsolidated low wet bearing strength materials, impermeable soils, poor drainage, erosion hazard, very low fertility and toxic materials. dividing the eastern and western portions of the site. |



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Site Description and Setting

| Item | Information |
|--|--|
| Site surface geology (Department of Regional NSW) | The site lies within the Buralow Formation of the Narrabeen Group from the early Triassic (base) and Middle Triassic (top). The formation is typified by fine-grained micaceous quartz to quartz-lithic sandstone, interbedded with siltstone, grey shale and red-brown claystone. |



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Site Walkover and Observations

3.0 SITE WALKOVER AND OBSERVATIONS

A site walkover was conducted on 12 January 2023 by an Environmental Scientist and Contaminated Lands professional from Stantec in company with two client representatives. Relevant observations made during the site walk over are provided below in **Table 3-1** below, and photographs taken during the inspection are contained in **Appendix B**. Site boundary, surrounding land use and regional vicinity and site walkover observations are shown in **Appendix A**.

Table 3-1 Observations summary

| Item | Observations | Photographic Log Reference (Appendix B) |
|--------------------------|---|---|
| Weather conditions | Sunny, temperature of approximately 23 degrees Celsius. | - |
| Site surface coverings | <p>The site surface was generally covered by a combination of grass, gravel and concrete/asphalt associated with historical building slabs and roads. Gravels were observed to include, anthropogenic materials such as brick, likely coal washery reject and gravels were observed in-situ suggesting potential fill material.</p> <p>Some portions of the site were overgrown with long grass and woody trees or shrubs, therefore the ground surface could not be thoroughly inspected. Overgrown areas were generally associated with embankments along site boundaries and the edges of possible fill platforms.</p> <p>The driveways and access roads in proximity to the buildings and structures on site were predominantly asphalt. The driveway south of the residential dwelling and cleared area in the north-east portion of the site was comprised of compacted gravels. The historical access road that traversed the site to Young Street was overgrown with areas of asphalt visible.</p> <p>Several areas of hardstand or building foundations were observed within the southern half of the site, the largest located at the south-east portion of the site.</p> | 7, 9, 18, 19, 21, 22, 26, 29, 30, 33, 36, 43. |
| Surface soils | Exposed surface soils generally consisted of light brown to orange clayey sandy silts, fill materials such as gravel, coal washery reject and concrete were also observed in-situ. | 19, 20, 23, 24, 26, 29, 31, 39, 40, 41, 50 |
| Site cut and fill | <p>The northern and eastern boundary of the site appeared to be cut and consisted of an embankment (about 4-6 metres high), sandstone chunks were observed along the northern boundary.</p> <p>The graveled area north-east of the site appeared to be raised, with an embankment east of the northern open stable which appeared to be cut with fill and fly-tipped wastes observed.</p> <p>Generally, the western portion of the site was on grade with filling observed (i.e. anthropogenic materials in-situ) for driveways and within the cleared area.</p> <p>Mounding was also observed throughout the entirety of the large cleared area with evidence of anthropogenic materials on the surface.</p> | 18, 36, 47, 50. |
| Buildings and structures | There were six (6) buildings on the site at the time of inspection: | 7, 12, 43, 51 and Appendix D . |



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Site Walkover and Observations

| Item | Observations | Photographic Log Reference (Appendix B) |
|---|--|---|
| | <ul style="list-style-type: none"> Residential building: double story, contains asbestos building materials (Getex, 2020) Garage: one story, brick Horse arena: open, metal roofing Enclosed horse stables and detached shed: single story, contains asbestos in building materials (Getex, 2020), brick, besser block and welded mesh sheets Open horse stables: single story, contains asbestos in building materials (Getex, 2020), besser block and welded mesh sheets. | |
| Potential hazardous building material | <p>An asbestos building materials register and management plan for the site was prepared for the site 2020 (Getex, 2020) and is attached in Appendix D. The plan identified the presence of asbestos in building materials in the varying condition (i.e. good to poor) and friability in the form of sheeting, cladding, electrical backing boards, paneling, roove guttering.</p> <p>Friable asbestos was confirmed in the surficial soil drip lines of deteriorating roof guttering near the horse stables (Getex, 2020). Asbestos sheeting in poor condition was also recorded near the northern entrance of the enclosed stable (Photograph location 1, Appendix B).</p> <p>One fragment of Potential Asbestos Containing Material (PACM) in poor condition was observed on the surface of the graveled area in the north-east portion of the site (Photo location 27, Appendix B).</p> | 1, 5, 7, 8, 9, 10, 12, 27, 42, 43, 44, 45 and Appendix D . |
| Manufacturing industrial or chemical processes and infrastructure | No manufacturing industrial or chemical processes were observed on the site, however anecdotally the stables are now used for cabinetry making. | 13. |
| Fuel storage tanks (USTs/ASTs) | No above or underground fuel storage tanks were observed on the site. | - |
| Hazardous chemicals | Small tins of paint and thinners than were present on site in the detached shed north of the enclosed stables. Small jerry cans of fuel (likely used for power tools) and batteries were stored near the southern entrance of the enclosed stable | 14, 46. |
| Solid waste deposition | <p>General waste and recycling bins were observed in the vicinity of the residential dwelling. A trailer containing cabinetry off-cuts was observed next to the detached building near the residential dwelling.</p> <p>Fly-tipping of building materials and other miscellaneous materials was observed along the borders of the site (predominantly north and east). The steep embankment between the graveled area (north-east portion of site) and open stable contained evidence of fly-tipping. This area contained materials such as concrete chunks, tyres, bricks, metal sheeting/objects. A large pallet of deteriorating Medium Density Fibreboard (MDF) and carpet off-cuts, newspapers was observed amongst vegetation, south-east of the gravelled area.</p> <p>Due to vegetation overgrowth some areas were not accessible, meaning there may be potential for scattered fly-tipped waste to exist.</p> | 2, 6, 11, 16, 20, 23, 24, 28, 29, 34, 39, 40, 41, 47, 49. |



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Site Walkover and Observations

| Item | Observations | Photographic Log Reference (Appendix B) |
|--|--|---|
| Liquid waste disposal features | A potential septic tank system was observed south of the detached building. | 15. |
| Evidence of previous site contamination investigations | No evidence of previous investigations other than the asbestos register (Getex, 2020) was observed on the site. | - |
| Evidence of land contamination (staining or odors) | White staining (inferred to be paint) was observed on the asphalt, down gradient of the open stable. No odours were noted on site. | 7. |
| Evidence of ground water contamination | No groundwater wells were observed on site. | - |
| Ground water use | Not observed. | - |
| Vegetation | Dense vegetation is present in the northern end of the site as well as the entire eastern boundary. The remaining site area is covered with grass in variable condition. | 19, 22, 30, 36, 43. |
| Site fencing | The site is fully fenced with two access gates from Racecourse Road, both with locks. Currently, the site is used as an overflow car park (parking in cleared areas) to support the Gosford Racecourse during racing days. Anecdotal evidence from the client stated that the fences bordering site have been repaired (i.e. holes) and upgraded twice since the acquisition of the property. One hole was observed in the fence on Young Street. | 4. |

3.1 AREAS NOT ACCESSED

The site was generally open and freely accessible except for the areas/ground surfaces identified in **Table 3-2** below which were not able to be visually assessed during the site walkover and should be considered in relation to the further data gaps detailed in **Section 5.2**.

Table 3-2 Inaccessible areas during site walkover

| Area | Justification/Notes |
|--|--|
| Residential dwelling and garage | Occupied by tenants, access not provided. |
| Storage shed | The door was locked and that was the only point of entry. |
| Two rooms in the enclosed stable | Both doors were locked and they were they only points of entry. |
| Areas of dense vegetation or unmaintained grass. | Dense overgrowth prohibited view of the surface, also the eastern portion was positioned on an embankment. |



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Site History Assessment

4.0 SITE HISTORY ASSESSMENT

A site history review was undertaken utilising publicly available and searchable registers and data sets to identify land uses and other information that may identify onsite or offsite sources of contaminations.

4.1 PREVIOUS REPORTS

One previous report was reviewed as part of this assessment:

- Getex Pty Ltd (2020). *Asbestos Building Materials Register and Management Plan for 9A-11 Racecourse Road, West Gosford NSW 2250*. Prepared for Busways Group Pty Ltd. Issued 12 December 2020. Report Number 1122.07.ASSR

Getex Pty Ltd were engaged by Busways Group Pty Ltd to undertake an asbestos materials survey at 9a-11 Racecourse Road, West Gosford NSW 2250. The objective of the survey was to determine the type, condition and extent of asbestos building materials that may be present and prepare an asbestos building materials register and asbestos management plan for the site. Non-friable asbestos of varying condition was detected in building materials at the northern stable, north-eastern shed, southern stable, house and garage. Generally, these areas were considered low to medium risk. Areas of high risk included areas containing friable asbestos, which was recorded in materials (i.e. detritus and soils) below drip lines of existing poor conditioned asbestos roofing or material at the northern stable, southern stable and north-eastern shed. No record of remediation and/or asbestos clearance was provided to Stantec, and presents a data gap. The full report is attached in **Appendix D**.

4.2 REGISTERS AND RECORDS

A search of the following databases was undertaken by Lotsearch on behalf of Stantec to identify properties within up to a 2,000 m radius from the site boundaries that may present a potential contaminant risk. A copy of the report is presented in **Appendix C**.

- List of NSW contaminated sites notified to NSW EPA
- NSW EPA Contaminated land records of notice
- NSW EPA location of former gasworks sites
- NSW EPA Per and Polyfluoro-alkyl Substance (PFAS) investigation program
- NSW EPA other sites with contamination issues
- NSW EPA Licensed activities under the POEO Act
- NSW EPA Delicensed POEO activities still regulated by the EPA
- NSW EPA Former POEO licensed activities now revoked or surrendered
- Defence PFAS Investigation and Management Program
- Air Services Australia National PFAS Management Program
- Geoscience Australia National Waste Management Facilities Database
- Geoscience Australia National Liquid Fuel Facilities.



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Records identified within 1,000 m of the site are summarised in the sections below, the full results of searches including records outside the 1,000 m buffer and results for databases with no records identified are included in **Appendix C**.

4.2.1 Contaminated Land Record of Notices

Contaminated land records of notices within the site buffer are outlined in **Table 4-1** below.

Table 4-1 Record of notices within 1,000 m of the site

| Name | Address | Suburb | Notices | Area No. | Location Confidence | Distance from site | Direction from site |
|----------------------|-----------------------|--------------|------------------------|----------|---------------------|--------------------|---------------------|
| Metro Meat | 365 Manns road | West Gosford | 2 former | 3028 | Premise Match | 409 m | West |
| Adcock Memorial Park | Central Coast Highway | West Gosford | 3 current and 1 former | 3459 | Premise Match | 505 m | South |

4.2.2 Current and Former Licensed Activities

Current and former Environment Protection Licences (EPL) licences within the search buffer were retrieved from the Protection of the Environment Operations (PoEO) Public Register published under Section 308 of the *Protection of the Environment Operations Act 1997* (PoEO Act) and results within 1,000 m of the site are summarised below in **Table 4-2**. The full results and figures can be viewed in **Appendix C**.

Table 4-2 POEO public register

| EPL | Organisation | Name | Address | Suburb | Activity | Distance from site | Direction from site |
|-------|-------------------------------------|---|--|------------------------|--|--------------------|---------------------|
| 7643 | Central Coast Council | The waters within the Central Coast LGA | Multiple Waterways, Central Coast MC, NSW 2252 | Gosford | Other activities | 283 m | South |
| 20660 | Veolia Recycling & Recovery Pty Ltd | - | 12 Gibbens Road | West Gosford, NSW 2250 | Waste storage- other types of waste; Recovery of general waste | 818 m | North-west |
| 12208 | Sydney Trains | - | Sydney trains Haymarket NSW 1238 | - | Railway systems activities | 850 m | South-east |



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| EPL | Organisation | Name | Address | Suburb | Activity | Distance from site | Direction from site |
|------|---------------------------------|---------------------------------|------------------|--------------|---|--------------------|---------------------|
| 6099 | Southern Oil Collection Pty Ltd | Southern Oil Collection Pty Ltd | 1 Daintree Place | Gosford West | <ul style="list-style-type: none"> Non-thermal treatment of hazardous and other waste Waste storage-hazardous, restricted solid, liquid, clinical and related waste, and asbestos waste | 963 m | North |

4.2.3 List of NSW Contaminated Sites Notified to the EPA

The EPA publishes a list of contaminated land notified under section 60 of the Contaminated Land Management Act 1997 (CLM Act). These have been assessed by the EPA as being contaminated, but may not always require regulation under the CLM Act. A search of the List of NSW Contaminated Sites Notified to the EPA was undertaken by Lotsearch which identified five (5) contaminated sites within a 1,000 m radius of the site. These sites are summarised in **Table 4-3**.

Table 4-3 NSW EPA Contaminated Land list within 1,000 m of the site

| Site | Address | Suburb | Activity | Management class | Status | Distance from site (m) | Direction from site |
|-----------------------------|--|--------------|-----------------|---|------------------|------------------------|---------------------|
| Adcock Memorial Park | Central Coast Highway | West Gosford | Landfill | Contamination currently regulated under CLM Act | Current EPA list | 505 m | South |
| Caltex Service Station | 283 Manns Road | West Gosford | Service Station | Regulation under CLM Act not required | Current EPA list | 569 m | North-west |
| United (former Mobil) Depot | Corner Merinee Road and Bowen Crescent | Gosford | Other Petroleum | Regulation under CLM Act not required | Current EPA list | 614 m | North-west |
| Caltex Service Station | 69-71 Pacific Highway | West Gosford | Service Station | Regulation under CLM Act not required | Current EPA list | 757 m | South-west |
| Caltex Service Station | 30a Pacific Highway | West Gosford | Service Station | Regulation under CLM Act not required | Current EPA list | 971 m | South-west |



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The listed sites above are all down-gradient and over 500 m from site and not considered to be hydraulically linked to site.

4.2.4 National Waste Management and Liquid Fuel Facilities

A search of Geoscience Australia, Waste Management and Liquid Fuel Facilities identified four (5) records within 1,000 m of the site. A summary of the search is provided in **Table 4-4** and a copy of the search is provided in **Appendix C**. None of the identified sites are considered to be upgradient of the site.

Table 4-4 National Liquid Fuel Facilities within 1,000 m of the site

| Site | Name | Address | Suburb | Class | Operational Status | Distance from site (m) | Direction from site |
|------------------|---------------------|---------------------|--------------|----------------|--------------------|------------------------|---------------------|
| 7-Eleven Pty Ltd | Gosford West | 1 Hely Street | Gosford | Petrol station | Operational | 395 m | South |
| Caltex | Caltex Gosford West | 283 Manns Road | West Gosford | Petrol station | Operational | 569 m | North-west |
| Caltex | Caltex Gosford West | 71 Pacific Highway | West Gosford | Petrol station | Operational | 757 m | South-west |
| Caltex | Caltex Gosford West | 30A Pacific Highway | West Gosford | Petrol station | Operational | 917 m | South-west |

4.3 HISTORICAL AERIAL PHOTOGRAPH REVIEW

Eight (8) historical aerial photographs taken in the years 1965, 1976, 1982, 1991, 1994, 2002, 2010, 2016 and 2022 were reviewed to identify historical land uses that may present potential contaminant sources. The aerial photograph summary is provided below in **Table 4-5**, historical photographs are presented in **Appendix C**.

Table 4-5 Historical aerial imagery review

| Year | Site Observations | Surrounding Area Observations |
|------------|--|--|
| 1965 (B&W) | The eastern half of the site is unvegetated and appears to be a holding ground for shipping containers, with potentially two buildings near the southern boundary. A potential decommissioned railway (tracks visible) can be seen in the western portion of the site, this can also be seen in the 1942 historical map (Appendix C). The shipping containers may be associated with the rail track (i.e. rail yard). An unsealed road can be seen running north to south through the center of the site. The | North: Approximately ten dwellings and four industrial buildings are visible. The area to the northwest has a large, bare earth is visible near these buildings and may be under further construction. Far north of the site is densely vegetated. |
| | | East: Appears to be a low to moderately vegetated reserve, with a few residential buildings visible to the southeast. |
| | | South: Appears to be moderately vegetated with several small dwellings with backyards. |



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| Year | Site Observations | Surrounding Area Observations |
|---------------|--|---|
| | northeastern corner is unvegetated and surface soils are visible. The site appears to be moderately vegetated in the top north-west and south-western corners. | West: Gosford Racecourse track is visible along with 3 main buildings that are associated within the racecourse. The remaining area appears to be unsealed roads/tracks or grass. |
| 1976 (colour) | The majority of vegetation on site has been cleared. Four new buildings have been added to the northwest corner (the same ones that stand today). The density of shipping containers and other sporadic materials has increased. A large building has been added to the southeastern corner and the property area towards the south appears to extend outside of the present site boundary. | North: The vegetation in the far north has been cleared and 1 new building is visible. There are also several additional buildings to the industrial area to the far northeast. |
| | | East: Vegetation has been cleared and a large gravel area and a house has been added. |
| | | South: The density of residencies has increased, and vegetation cleared as a result. |
| | | West: Two buildings at the racecourse have been extended and 1 new one has been constructed. |
| 1982 (colour) | Land use appears to be consistent with the previous imagery, with the extended area at the south disappearing and the property now meeting the present site boundary. | North: Appears consistent with previous imagery. |
| | | East: Addition of a large shed and a large bitumen area. |
| | | South: A large building has been added in the far south. |
| | | West: The round grassy/pond area at the racecourse has been filled in. |
| 1991 (colour) | The site appears to be largely exposed bare earth, except for the northwestern corner, where 4 main buildings stand (the same buildings that are present today). The shipping containers and buildings have been removed and has been overtaken by emerging vegetation. Hardstand foundation is visible in this area. | North: Appears consistent with previous imagery. |
| | | East: An accumulation of cars and sporadic materials has appeared on the gravel and bitumen areas. A new building has appeared close to the eastern boundary and the vegetation has become denser in the reserve. |
| | | South: Appears consistent with previous imagery. |
| | | West: Additional buildings and extensions on current buildings have been added to the racecourse |
| 1994 (colour) | The north-eastern portion of the site remains as exposed bare earth, with rectangular objects (potentially vehicles or shipping containers) along the eastern boundary. Hardstand area visible in the southeastern corner and die back is also visible through the center of the site. The vegetation coverage in the northwestern corner has become denser. | North: Appears consistent with previous imagery. |
| | | East: Increase in sporadic materials on the bitumen area. The area surrounding the shed is also now bitumen. |
| | | South: Vegetation cleared directly south of the boundary. |
| | | West: Appears consistent with previous imagery. |
| 2002 (colour) | The exposed bare surface in the north-eastern corner of site is now covered by sporadic materials. An unoccupied area of | North: Increase in the density of trees around the industrial area with the unsealed carpark. |
| | | East: Shed has been extended. |



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| Year | Site Observations | Surrounding Area Observations |
|---------------|--|--|
| | bare earth is visible just south of this area. Some vegetation clearing is evident near the hardstand in the south-eastern corner of site. Vegetation near the dwellings has become denser. The grass in the centre of the site remains appears to be dull (i.e. poor condition). | <p>South: 2-3 new buildings have appeared on a lot that backs onto the southern boundary.</p> <p>West: 2-3 buildings at the racecourse have been demolished and 9 new ones built (potentially horse stables).</p> |
| 2010 (colour) | Land use appears consistent with previous imagery, with the sporadic material area extending further south where it was previously bare earth. The grass in the centre of the site remains dull (i.e. poor condition). | <p>North: Trees around the industrial area have been cleared.</p> <p>East: Appears consistent with previous imagery.</p> <p>South: 5-6 residential buildings have been demolished.</p> <p>West: Appears consistent with previous imagery.</p> |
| 2016 (colour) | The large accumulation of sporadic materials in the north east portion of site is now gone, and a gravel patch is in its place. The vegetation along the eastern boundary has become denser, as well as an increase in grass cover in the southwestern corner. The grass in the centre of the site remains dull (i.e. poor condition). | <p>North: The industrial areas appear to no longer be in use and half of a building at the unsealed carpark site has been demolished.</p> <p>East: The shed appears to no longer be in use. The vegetation is now very dense, stretching from the reserve through to the eastern boundary of the site.</p> <p>South: 2 smaller buildings have been replaced with a large industrial building and additional small business buildings have been built.</p> <p>West: 2-3 small buildings have been demolished at the racecourse.</p> |
| 2022 (colour) | Land use appears consistent with previous imagery. | <p>North: The industrial areas are now back in operation, with an additional building and a sealed car park being added.</p> <p>East: Sporadic material on the bitumen area is no longer there and the far bitumen now appears to be unsealed.</p> <p>South: A large multistorey building has been built.</p> <p>West: Appears consistent with previous imagery.</p> |

4.4 HERITAGE

From our desktop searches it appears that the site is not located within a State, National or Commonwealth heritage listed item. Further, no heritage items with potential contamination impact on the site were identified in the desktop searches.



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Site History Assessment

4.5 HISTORICAL BUSINESS DIRECTORY

General historical business directory records search (with focus on industrial practices) and historical business locations of dry cleaners, motor garages and service stations between years 1950 to 1982 were searched to identify historical land uses at or surrounding the site that could present potential contaminant sources. A copy of the search is provided in **Appendix C** and a summary of identified sites that could present a potential contaminant risk within 250 m of the site are provided in **Table 4-7** and **Table 4-7**.

Table 4-6 Summary of historical business directory

| Business Activity | Premises | Address | Year Active | Distance from site (m) | Direction from site |
|---|---------------------------------------|--|----------------|------------------------|---------------------|
| Haulage contractors/road making contractors and earth moving | R.N. Robson Gosford Pty. Ltd. | Corner of Faunce & Narara Street, West Gosford | 1961 | 18 m | North |
| Hiring services (i.e. industrial) | Gosford Hire & Sales Centre Pty. Ltd. | 18 Faunce Street, West Gosford 2250 | 1982 | 32 m | North |
| Electronic equipment manufacturers or distributors | Joes | 31 Young Street, West Gosford 2250. | 1982 | 43 m | South |
| Carriers or cartage contractors/Earth moving or road making contractors | Bradbury & Fuller | 40 Hely Street, West Gosford 2250. | 1982 | 55 m | South-east |
| Motor panel beaters and/or painters supplies | Godfrey, Basil & Sons | 28 Young Street, West Gosford 2250 | 1982 | 61 m | South |
| Sheet metal workers/plumbers or gasfitters | Dicker & Ferguson | Dicker & Ferguson, 22 Young Street, West Gosford | 1982/1970/1961 | 101 m | South |
| Earth moving contractors or road making contractors | Bradley Sealing Services | 3 Blakett Street, Gosford 2250 | 1970 | 102 m | North-west |
| Glass merchants | Law, J. Joinery | 26 Hely Street, West Gosford 2250 | 1982 | 129 m | South |

*Indicates the record is mapped to the road when a building number is not supplied, cannot be found, or the road has been renumbered since the directory was published.



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Table 4-7 Summary of historical business directory (dry cleaners, motor garages and service station)

| Business Activity | Premises | Address | Year Active | Distance from site (m) | Direction from site |
|---|--------------------------------------|--------------------------------------|-------------|------------------------|---------------------|
| Motor garages, engineers or service station | K.T. Motors | 33 Young Street, West Gosford 2250 | 1982 | 13 m | South-east |
| Motor garages, engineers or service station | Cocks, B. Truck & Car Repairs | 2 Donnison Street, West Gosford 2250 | 1982 | 162 m | South |
| Motor garages, engineers or service station | Ellis, David J. Truck & Auto Repairs | 2 Donnison Street, West Gosford 2250 | 1982 | 162 m | South |
| Motor garages, engineers or service station | Compton, E. & S | Young Street, West Gosford 2250 | 1982 | (road match)* | (road match)* |
| Motor garages, engineers or service station | J.C. Auto Repairs | Young Street, West Gosford 2250 | 1982 | (road match)* | (road match)* |

*Indicates the record is mapped to the road when a building number is not supplied, cannot be found, or the road has been renumbered since the directory was published.

The identified motor garage complex south-east of site is considered up/cross gradient and in close proximity to site (13 metres), therefore it may be hydraulically linked to site.

4.6 SECTION 10.7 CERTIFICATE

Section 10.7 planning certificates were received by Stantec from the client for review. The following sections were reviewed:

- Section 9 - Flood related development controls
- Section 10 - Council and other public authority policies on hazard risk restrictions. Acid sulfate class 5
- Section 12 - Loose-fill asbestos
- CLM Act.

These are summarised in **Table 4-8**. A copy of the certificates is presented in **Appendix D**.



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Site History Assessment

Table 4-8 Section 10.7 certificate summary

| Lot, DP | Section 9 | Section 10 | Section 12 | CLM Act |
|----------------------|-----------|------------|--------------|--------------|
| Lot 1, DP651249 | Affected | Affected | Not affected | Not affected |
| Lot 6, DP801261 | Affected | Affected | Not affected | Not affected |
| Lot 11, DP758466 | Affected | Affected | Not affected | Not affected |
| Lot 12, DP1100110 | Affected | Affected | Not affected | Not affected |
| Lot 13-14, DP1100206 | Affected | Affected | Not affected | Not affected |
| Lot 15, DP1100216 | Affected | Affected | Not affected | Not affected |
| Lot 16, DP1079150 | Affected | Affected | Not affected | Not affected |
| Lot 18, DP1100223 | Affected | Affected | Not affected | Not affected |
| Lot 20, DP758466 | Affected | Affected | Not affected | Not affected |
| Lot 71-74, DP810836 | Affected | Affected | Not affected | Not affected |

4.7 UTILITY PLANS

A Before You Dig Australia (BYDA) utility enquiry was conducted on 11 January 2023. Utilities present are summarised in **Table 4-9** and full report is given in **Appendix D**.

Table 4-9 Utilities summary

| Utility | Description |
|-------------------|---|
| Telecommunication | Telstra: Located on site, passing through the southwestern corner, and located within the southeastern corner. Off site shows cables running parallel along the western and eastern boundary. NBN: Located onsite, passing through the southwestern corner. Off site shows cables (Copper/RF/Fiber) running parallel along the western, northern, and eastern boundary. |
| Electricity | No underground assets are present on site. |
| Water & Sewer | Water: Watermains are located along the western, northern, and eastern boundaries. Sewer: Located on site, sewer gravity main (asbestos) passing through the center of the site heading from the southern boundary to the north. There are also gravity mains on the western boundary, at the southern end, and along the entire eastern boundary. Drainage pits are also present along the entire western and northern boundaries. |
| Gas | No underground assets are present onsite. Assets are located 100 m south of the southern boundary, below Young Street. |

4.8 SAFEWORK HAZARDOUS CHEMICALS ON PREMISES

The Search for Schedule 11 Hazardous Chemicals on Premises was undertaken for the site using the lots identified in **Table 2-1** with the full report attached in **Appendix D**. Records held by SafeWork NSW identified one record from approximately 1977 for two underground liquid fuel tanks issued to Robson Excavations Pty Ltd at Racecourse Road, West Gosford under the license 03855. The tanks (2 x 10,000L underground tanks) were later declared abandoned with the flammable liquid removed by Hodge Petroleum Installations Pty Ltd in 2001, however it is unclear of the condition of the underground tanks during the removal.



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The report includes a diagram of the layout, consisting of a rectangular depot shed and two attached blocks with the pumps and tanks adjacent to them near Martin Street. SafeWork indicated the street number or street names do not exist anymore (i.e. Martin Street), therefore it is unclear if this is an exact match to the site.

Historical business records located in **Section 4.5** also identified a road intersection match for Robson, R. N. Pty Ltd a haulage and earthmoving contractor. Review of aerial imagery identifies various types of plant and equipment can be observed at the property identified as 6 Racecourse Road over the time periods indicated by the business and dangerous goods records (1961 to 2001). Over this same period no evidence of earthmoving and haulage equipment is visible within the site.

Assessment of historical land titles may contain pertinent information in regards to site ownership or leasehold and indicate whether the abandoned underground storage tanks exist on site.

4.9 CONTROLLED CHEMICALS ASSESSMENT

The NSW EPA uses Chemical Control Orders (CCO) as a primary legislative tool under the *Environmentally Hazardous Chemicals Act* 1985 to manage chemicals of concern and limit their potential impact on the environment. Stantec provide a preliminary screening of the site history for the likelihood of chemicals of concern within the CCO framework in below in **Table 4-10**.

Table 4-10 Preliminary controlled chemicals screening

| Chemical of Concern | Likelihood of Occurrence |
|---|--|
| Were aluminum smelter wastes used or stored on the site (CCO, 1986)? | Low to moderate. Historical industrial practices on site and presence of fill material of unknown origin or quality. |
| Do dioxin contaminated wastes (CCO, 1986) have the potential to impact the site? | Low to moderate. Historical industrial practices on site and presence of fill material of unknown origin or quality. |
| Were organotin products (CCO 1989) used or stored on site? | Low to moderate. Historical industrial practices on site and presence of fill material of unknown origin or quality. |
| Were polychlorinated biphenyls (PCBs) used or PCB waste (CCO, 1997) stored on site? | Low to moderate. Historical industrial practices on site and presence of fill material of unknown origin or quality. |

4.10 PERFLUOROALKYL AND POLYFLUOROALKYL SUBSTANCES

A PFAS probability of occurrence desktop survey is provided in **Table 4-11** and has been undertaken based on information provided in the *PFAS National Environmental Management Plan* (NEMP) (HEPA, 2020). PFAS are known to be present in Aqueous Film Forming Foams (AFFF) and alcohol-type concentrate. The historic use of AFFF is reported as being used by Fire & Rescue NSW between 1976 and 2007, while other agencies used AFFF during training exercises as late as 2010 (Fire & Rescue NSW, information sheet, firefighting foam and PFAS, reference D16/82523).

Additionally, no EPA/Department of Defence or Airservices Australia PFAS investigations and/or management plans have been recorded within 2,000 m of the site.



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Table 4-11 PFAS screening survey

| Preliminary Screening Question | Likelihood of Occurrence ^{1, 2, 3} |
|---|---|
| Is the past or present site activity listed in the NEMP (HEPA, 2020) as being an activity with risk of fire. If so, list activity: | Low to moderate. Historical industrial related practices undertaken on site. Site in proximity to industrial land use. |
| Is the past or present off-site activity up-gradient or adjacent to a site listed in the NEMP (HEPA, 2020) as being an activity with risk of fire. If so list activity: | Low to moderate. Site in proximity to industrial land uses. Down-gradient of potential waste processing plant and automotive garages. |
| Did fire training involving the use of suppressants occur on site between 1970 and 2010? | Low. No fire fighting activities identified. |
| Did fire training occur up-gradient of or adjacent to the site between 1970 and 2010? | Low. No fire fighting activities identified. |
| Have 'fuel' fires ever occurred on site between 1970 and 2010? (i.e. ignition of fuel storage tanks - solvent, petrol diesel, kerosene, other)? | Low. No known fuel fires. |
| Have PFAS been used in manufacturing or stored on site? | Low to moderate. Given the use as a potential rail yard and/or material storing facility from circa. 1965 to 1991 and a material storing yard in circa. 2002 to 2016. |
| Could PFAS have been imported to the site in fill materials from a site with activity listed in NEMP and subject to exposure to PFAS from 1970 to 2010? | Low to moderate. Imported fill materials within the site may have been sourced from areas with an activity listed in NEMP 2020 (HEPA, 2020). |
| Could PFAS-contaminated groundwater or run-off have migrated beneath or on to the site? | Low to moderate. Potential up-gradient sources in proximity to site. No groundwater bores on site. |
| Is the site or adjacent sites listed in the NSW EPA PFAS Investigation program? | Low. No sites identified in Lotsearch report. |
| If the likelihood is medium or high in any of the above factors, does the site analytical suite need to be optimized to include preliminary sampling and testing for PFAS in soil and waters (incl. ASLP or TCLP)? Provide rationale. | Low to moderate. Further assessment of PFAS potentially warranted in fill profiles across the site. |

Notes:

1 Likelihood: Low – all necessary documentation has been reviewed and there is no recorded instance of potential PFAS use or exposure.

2 Likelihood: Medium – all necessary documentation has been reviewed and there is potential evidence of a recorded instance of potential PFAS use or exposure.

3 Likelihood: High – all necessary documentation has been reviewed and there is evidence of a recorded instance of potential PFAS use or exposure.

4 www.epa.nsw.gov.au/your-environment/contaminated-land/pfas-investigation-program



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Site History Assessment

4.11 SUITABILITY OF SITE HISTORY RECORDS

The site history information sources collected during this investigation are considered of a suitable quality for the purposes of a preliminary site assessment of contamination. However, the absence of historical title searches and Schedule 11 Hazardous Chemicals on Premises do present as data gaps and may contain pertinent information in regards to historical land use practices and potential for contamination to exist on the site.

4.12 SITE HISTORY SUMMARY

Historical land uses and potential activities occurring at the site are summarised below:

- The earliest historical imagery (1965) shows the site was primarily used as a storage area, with two large buildings at the southern end of the site with scattered shipping containers and/or materials north of the buildings. A potential disused rail track dissects the site from the south-west corner and runs north to the boundary of the site which may be associated with the railway activities. The north-eastern corner of the site was comprised of an area of exposed bare earth.
- The residential building and stables that stand today were built around 1976 and are known to contain asbestos of varying conditions (Getex, 2020). Surficial friable asbestos in soil was noted below drip lines of the stables (Getex, 2020) and sheets of fibre cement in poor condition observed. No record of remediation or clearance certificate was supplied to Stantec, there for it is anticipated impact to site's soil still exists.
- Demolition of buildings that existed on site (south-east) in the 1970's potentially containing ACM.
- Historical use as a materials laydown area across the eastern portion of site in 1965-1991 (south-east) and 1994-2010 (north-east).
- From around 1991 to the present day the grass central portion of site (generally in the extent of the historical materials laydown areas) appears to be discolored (i.e. yellowing).
- There is potential for uncontrolled filling across the entire site of unknown quality or depth, with evidence of anthropogenic materials observed within the material (i.e. brick, concrete) in-situ and evidence of mounding. Several concrete foundations were also observed on site, predominantly in the south-west.
- Evidence of uncontrolled fly-tipping of demolition wastes (i.e. scrap metal, concrete, timbers) was observed primarily along the northern and eastern embankments. A fragment of PACM was observed on the surface in the north-eastern portion of site.
- The Schedule 11 Hazardous Chemicals on Premises search identified the potential for two abandoned underground storage tanks (historically containing flammable liquid) of unknown condition to be present on site. However, SafeWork indicated the street number or street names do not exist anymore, therefore it is unclear if this is an exact match to the site, therefore it is assumed the abandoned tanks may exist on site.



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Discussion

5.0 DISCUSSION

Table 5-1 summarises the contamination sources identified within the site based on the desktop assessment and site walk over. Identified contamination sources are consistent with the current and recorded site history, while a small number of localised sources have been identified (i.e. ACM in structures). A broad risk of potential contamination exists across the site from activities associated with uncontrolled filling and cutting, fly-tipping of demolition wastes, demolition of buildings (circa. 1970) and historical use as a material storage area and over flow carpark.

Table 5-1 Contamination source summary

| Contamination Source | Description | Contaminants of Concern | On/off-site |
|---|--|---|-------------|
| Deteriorating ACM in buildings/structures and proximal soils | The residential building and stables that stands today were built around 1976 and are known to contain asbestos of varying conditions (Getex, 2020). Surficial friable asbestos in soil was noted below drip lines of the stables (Getex, 2020) and sheets of fibre cement in poor condition were also observed. | <ul style="list-style-type: none"> Asbestos. | On site |
| Cutting and fill materials of unknown quality or quantity across site | There is potential for uncontrolled filling across the entire site of unknown quality or depth, with evidence of anthropogenic materials observed within the material (i.e. brick, concrete and coal washery reject) in-situ and evidence of mounding. Several concrete foundations were also observed on site, predominantly in the south-west. | <ul style="list-style-type: none"> Asbestos Total Recoverable Hydrocarbons (TRH) Benzene, Toluene, Ethylbenzene and Xylene (BTEX) Polycyclic Aromatic Hydrocarbons (PAHs) Metals (i.e. Arsenic [As], Cadmium [Cd], Chromium [Cr], Copper [Cu], Nickel [Ni], Lead [Pb], Zinc [Zn], Mercury [Hg]) Phenols Organochlorine Pesticides/ Organophosphorus Pesticides (OCPs/OPPs) Polychlorinated Biphenyls (PCB) Volatile Organic Compounds (VOCs) Semi-volatile Organic Compounds (SVOCs) PFAS. | On site |



PRELIMINARY SITE INVESTIGATION – 7A-11 RACECOURSE ROAD AND 32-50 YOUNG STREET, WEST GOSFORD

Discussion

| Contamination Source | Description | Contaminants of Concern | On/off-site |
|--|---|---|-------------------|
| Fly-tipped demolition and other wastes across the site | Evidence of uncontrolled fly-tipping of demolition wastes (i.e. scrap metal, concrete, timbers) was observed primarily along the northern and eastern embankments and also directly east of the northern stable. A fragment of PACM was observed on the surface in the north-eastern portion of site | <ul style="list-style-type: none"> Asbestos TRH BTEX PAHs Metals Phenols OCPs/OPPs PCBs VOCs SVOCs PFAS. | On site |
| Historical industrial site activities including rail yard, material storage 1965-1991 (south-east) and 1994-2010 (north-east). Demolition of buildings pre-1970. | Historical aerial imagery shows the eastern portion of the site was used as a material laydown area containing shipping containers around 1965 which was then removed in 1991 and largely remained cleared (apart from vegetation growth). Similarly, the north-eastern portion of site was also used as a material storage and/or laydown area between 1994-2010 with evidence of sporadic materials laid out across the ground surface. Due to the undocumented and/or uncontrolled nature of these activities the potential associated contaminant list is broad. | <ul style="list-style-type: none"> Asbestos TRH BTEX PAH Metals Phenols OCPs/OPPs PCBs VOCs SVOCs PFAS. | On site |
| Two historical underground storage tanks containing flammable liquid to exist on site | SafeWork NSW Hazardous Chemicals on Premises records identified a record for two underground storage tanks (UST) with an intersection match for Racecourse Road and Faunce Street. It was indicated however that due to changes in street names and / or numbering it was no longer possible to confirm the specific premises referred to by the records. From business records a company with an identical activity was identified on the north-west corner of the intersection. In addition review of aerial imagery from the relevant time period was not able to identify structures equivalent to those within plans supplied within records on the site. From the above it is considered a low likelihood that the UST are located on the site however they have been included here for completeness.,. | <ul style="list-style-type: none"> TRH BTEX PAHs Metals. | Onsite or offsite |
| Historical use as a layover carpark for the Gosford Racecourse | Vehicle usage within the site has potential to cause surficial impact to soils. Contaminants can include, historical lead-based fuel additives, historical asbestos containing brake pads, low level spills and leakage of vehicle fluids, general wear of tyres and spill / loss of loads | <ul style="list-style-type: none"> Asbestos TRH BTEX PAHs Metals OCPs/OPPs VOCs SVOCs. | On site |



PRELIMINARY SITE INVESTIGATION – 7A-11 RACECOURSE ROAD AND 32-50 YOUNG STREET, WEST GOSFORD

Discussion

| Contamination Source | Description | Contaminants of Concern | On/off-site |
|--|--|--|-------------|
| Historical industrial activities up-gradient and in proximity to site (i.e. motor garages) | Given the proximity and position to site (i.e. up-gradient) to historical potentially contaminating activities such as motor service or garages and material sorting there is potential for contaminant migration through groundwater (if they persist). | <ul style="list-style-type: none">• TRH• BTEX• PAH• Metals• Phenols• OCPs/OPP• PCBs• VOCs• SVOCs• PFAS. | Off site |

5.1 PRELIMINARY CONCEPTUAL SITE MODEL

A Conceptual Site Model (CSM) provides the framework for identifying sources of contamination, contaminant migration pathways, human and ecological receptors and exposure mechanisms. Risk to human health and the environment is identified through complete Source – Pathway – Receptor (SPR) linkages. In order to identify SPR linkages the CSM considers site specific factors, including:

- Source(s) of contamination
- Identification of contaminants of concern associated with past (and present) source(s)
- Site specific information including soil type(s), depth to groundwater, inferred groundwater flow direction and surface water bodies and interactions
- Location of any identified sources relative to the proposed site development
- Actual or potential receptors considering both current and future land use both for the site, adjacent properties and any sensitive ecological receptors.
- Based on a review of the desktop site history information, site walk-over observations, and sample results the following CSM has been developed showing potential SPR linkages considered to be potentially complete or incomplete under our understanding of the current and future land use.

The CSM for the site is summarised in **Table 5-2** below and applies to current land use.



PRELIMINARY SITE INVESTIGATION – 7A-11 RACECOURSE ROAD AND 32-50 YOUNG STREET, WEST GOSFORD

Discussion

Table 5-2 Preliminary conceptual site model

| Potential Contamination Source | Impacted Media | Contaminants of Concern | Potential Exposure Pathway | Receptors | Likelihood of Complete Exposure Pathway |
|--|---|--|--|---|---|
| Deteriorating asbestos building materials in buildings/structures and proximal soils | <ul style="list-style-type: none"> Surficial soils in the surrounds of buildings and structures (i.e. drip lines of roof gutters) containing asbestos. | <ul style="list-style-type: none"> Asbestos Friable asbestos in soil. | <ul style="list-style-type: none"> Direct contact Inhalation of asbestos fibres due to damage and disturbance of asbestos. | <p>Human</p> <ul style="list-style-type: none"> Current and future site users under and ongoing commercial / industrial setting Future demolition and construction workers within the site. | <p>High:</p> <p>Asbestos (friable and non-friable forms) have been identified within the site and no controls were observed during the site walkover. Stantec has not been provided with evidence that this has remediated or removed.</p> <p>Appropriate management and controls, including removal of impacted soils, will be needed to minimise risk of exposure to acceptable levels.</p> |
| Cutting and fill materials of unknown quality or quantity across site | <ul style="list-style-type: none"> Imported soils and site soils in contact with these materials. | <ul style="list-style-type: none"> Asbestos TRH BTEX PAHs Metals Phenols OCPs/OPPs PCB VOCs SVOCs PFAS. | <ul style="list-style-type: none"> Direct contact Incidental ingestion Inhalation of volatile organic compound vapours and asbestos fibres. | <p>Human</p> <ul style="list-style-type: none"> Current and future site users under and ongoing commercial / industrial setting Current and future construction workers undertaking excavations on-site. <p>Ecological:</p> <ul style="list-style-type: none"> Soil dependent biota. | <p>Low to moderate: Potentially complete in the event of any direct interaction with impacted media (i.e. excavations, use as growth medium).</p> <p>Fill is extensive across the site but a low likelihood is probable where an effective construction environmental</p> |



PRELIMINARY SITE INVESTIGATION – 7A-11 RACECOURSE ROAD AND 32-50 YOUNG STREET, WEST GOSFORD

Discussion

| Potential Contamination Source | Impacted Media | Contaminants of Concern | Potential Exposure Pathway | Receptors | Likelihood of Complete Exposure Pathway |
|--|--|---|--|---|--|
| Fly-tipped demolition and other wastes across the site | <ul style="list-style-type: none"> • Surficial soils • Deeper soils in the event of liquid spills. | <ul style="list-style-type: none"> • ACM • TRH • BTEX • PAHs • Metals • Phenols • OCPs/OPPs • PCBs • VOCs • SVOCs • PFAS | <ul style="list-style-type: none"> • Direct contact • Incidental ingestion • Inhalation of volatile organic compound vapours and asbestos fibres. | <p>Human</p> <ul style="list-style-type: none"> • Current and future site users under and ongoing commercial / industrial setting • Current and future construction workers undertaking excavations on-site. <p>Ecological:</p> <ul style="list-style-type: none"> • Soil dependent biota. | management plan is in place. |
| Historical use as a materials storage and/or laydown area across the eastern portion of site in 1965-1991 (south-east) and 1994-2010 (north-east) including demolished buildings and foundations | <ul style="list-style-type: none"> • Surficial soils. | <ul style="list-style-type: none"> • ACM • TRH • BTEX • PAHs • Metals • Phenols • OCPs/OPPs • PCBs • VOCs • SVOCs • PFAS | <ul style="list-style-type: none"> • Direct contact • Incidental ingestion • Inhalation of volatile organic compound vapours and asbestos fibres. | <p>Human</p> <ul style="list-style-type: none"> • Current and future site users under and ongoing commercial / industrial setting • Current and future demolition and construction workers within the site. <p>Ecological:</p> <ul style="list-style-type: none"> • Soil dependent biota. | <p>Moderate:</p> <p>Identified anthropogenic materials potentially associated with material storage has potential to impact aesthetic suitability of soils.</p> <p>Asbestos (non-friable) was detected on the surface of this historical area, appropriate management and controls will be needed to minimise risk of exposure to acceptable levels.</p> |



PRELIMINARY SITE INVESTIGATION – 7A-11 RACECOURSE ROAD AND 32-50 YOUNG STREET, WEST GOSFORD

Discussion

| Potential Contamination Source | Impacted Media | Contaminants of Concern | Potential Exposure Pathway | Receptors | Likelihood of Complete Exposure Pathway |
|---|---|--|---|---|---|
| Two historical underground storage tanks containing flammable liquid to exist on site | <ul style="list-style-type: none"> Proximal soils Groundwater Deeper soils within proximity to groundwater | <ul style="list-style-type: none"> TRH BTEX PAHs Metals. | <ul style="list-style-type: none"> Direct contact Incidental ingestion Inhalation of volatile organic compound vapours | <p>Human</p> <ul style="list-style-type: none"> Current and future site users under and ongoing commercial / industrial setting Current and future demolition and construction workers within the site. <p>Ecological:</p> <ul style="list-style-type: none"> Soil dependent biota. | <p>Low to nil:</p> <p>It is considered unlikely based on information within the supplied records and supporting documentation, that the tanks exist within the site boundary.</p> <p>Potentially complete in the event of any direct interaction with impacted media (i.e. excavations, use as growth medium) if tank is present.</p> <p>If located at the suspected offsite premises the tanks would be cross or downgradient of the site.</p> |
| Historical use as a layover carpark for the Gosford Racecourse | <ul style="list-style-type: none"> Soils (predominately surface soils) through spills / direct application. | <ul style="list-style-type: none"> TRH BTEX PAHs Metals VOCs/SVOCs PFAS. | <ul style="list-style-type: none"> Direct contact Incidental ingestion Vapour intrusion. | <p>Human</p> <ul style="list-style-type: none"> Current and future site users under and ongoing commercial / industrial setting Current and future demolition and construction workers within the site. <p>Ecological:</p> <ul style="list-style-type: none"> Site vegetation and biota. | <p>Low:</p> <p>Given the site has been used as a car park. The impacts have potential to be locally very high (such as from spills and oils leaks)</p> <p>Potentially complete in the event of spill or leak and direct interaction with impacted media (if present).</p> |



PRELIMINARY SITE INVESTIGATION – 7A-11 RACECOURSE ROAD AND 32-50 YOUNG STREET, WEST GOSFORD

Discussion

| Potential Contamination Source | Impacted Media | Contaminants of Concern | Potential Exposure Pathway | Receptors | Likelihood of Complete Exposure Pathway |
|--|--|--|---|--|--|
| Historical industrial activities up-gradient and in proximity to site (i.e. motor garages) | <ul style="list-style-type: none"> • Surficial soils • Groundwater • Deeper soils within proximity to groundwater | <ul style="list-style-type: none"> • TRH • BTEX • PAHs • Metals • VOCs/SVOCs • PFAS. | <ul style="list-style-type: none"> • Direct contact • Incidental ingestion • Vapour intrusion. | <p>Human</p> <ul style="list-style-type: none"> • Current and future site users under and ongoing commercial / industrial setting • Current and future demolition and construction workers within the site. <p>Ecological:</p> <ul style="list-style-type: none"> • Soil dependent biota. | Low: While the potentially contaminating compounds may be present no evidence of spillage or inappropriate handling was identified. Only complete if evidence of spills is identified. |



PRELIMINARY SITE INVESTIGATION – 7A-11 RACECOURSE ROAD AND 32-50 YOUNG STREET, WEST GOSFORD

Discussion

5.2 DATA GAPS

Based on Stantec's assessment of the site historical information, which included a historical review and inspection, the following data gaps were identified:

Not all areas of the site were accessible at the time of the site walkover, inaccessible areas are listed in **Section 3.1**:

- Portions of the site were unable to be inspected due to the presence of dense vegetation. These areas were not subjected to a detailed assessment, and whilst dense vegetation was present at the time of the walkover this is not necessarily indicative of the historical land form/use and potential for un-regulated fills and tipping should be considered as possible.
- The Schedule 11 Hazardous Chemicals on Premises contained information on two historical underground storage tanks of flammable liquid (which were emptied in 2001) matched to the road intersection of Racecourse Road and Faunce Street, West Gosford. Given that SafeWork could not give an exact location due to street numbers or names changing. The records indicate that the tanks have been removed however it is unclear whether the underground storage tanks were present on site.

Historical land use consistent with the registered business (i.e. excavations and earthmoving contractors) is located near 6 Racecourse Road and off-site. Further to this a review of aerial imagery did not identify structures in the configuration of those within plans included within the SafeWork records.

Business / property owner information is provided within the SafeWork records and as such historical land titles may be used to further exclude the presence of USTs within the site boundaries.

- Stantec was not supplied with any remediation or asbestos clearance certificates nor were the recommended controls for asbestos containing material outlined in Getex 2020 observed on site. Therefore, it is anticipated that asbestos contamination still exists on site.
- Best efforts were made to identify potential filling areas that exist within, beneath and surrounding the site that may have been imported during construction and maintenance. Despite this, and without earthworks and cut/fill records being provided by the client or other parties, areas of filling and mounding may exist outside of the areas identified by Stantec.



PRELIMINARY SITE INVESTIGATION – 7A-11 RACECOURSE ROAD AND 32-50 YOUNG STREET, WEST GOSFORD

Conclusions

6.0 CONCLUSIONS

Stantec has completed Preliminary Site Investigation (PSI) to assess for potential contamination at 7a-11 Racecourse Road and 32-50 Young Street, West Gosford, NSW ('the site'). The site and relevant figures are presented in **Appendix A**. The PSI was requested by the Department of Planning and Environment (DPE) to support the Development Application (DA) for the site (DPE, 2021). The proposed redevelopment for the site is a bus depot and is expected to accommodate bus parking, with associated servicing workshops, office administration and staff parking.

The purpose of the investigation was to gather preliminary contamination information for the site and provide advice on potential construction constraints. Based on the results of this investigation the following known contaminating sources and activities have been identified:

- Deteriorating asbestos building materials in buildings/structures and proximal soils
- Cut and fill materials of unknown quality or quantity across site
- Fly-tipped demolition and other wastes across the site
- Historical use as a materials storage and/or laydown area across the eastern portion of site in 1965-1991 (south-east) and 1994-2010 (north-east) including demolished buildings and foundations
- Historical use as a layover carpark for the Gosford Racecourse
- Historical industrial activities up-gradient and in proximity to site (i.e. motor garages).

Based on potentially completed Source-Pathway-Receptor (SPR) linkages these sources are considered to pose a potential risk to the following receptors:

- Current site users and future site users under a commercial and industrial setting
- Future demolition and construction workers undertaking excavations on site
- Soil dependent biota.

The identified potential sources of contamination have been preliminarily classified as having a low or medium likelihood of complete exposure pathway for human and ecological receptors. Despite this, the information provided in this report is preliminary in nature and has not confirmed actual conditions or potential impact from contaminants of potential concern to site soils and/or groundwater. Further, it is not possible at this stage to make a statement on site suitability for the intended land-use and proposed development. As outlined in the recommendations in **Section 6.1**, further investigation is necessary to determine the extent of potential contamination and the site suitability for the proposed development and future land use.



Conclusions

6.1 RECOMMENDATIONS

Based on these findings, we recommend further investigation to determine the extent and nature of the contamination at the site. This will involve soil, ground gas and groundwater sampling and laboratory analysis to identify any contaminants risk present. The following recommendations are necessary to manage potential contamination issues that may inform future land development planning approvals and construction design of the site:

- Conduct a Detailed Site Investigation (DSI) to confirm the presence of contaminant sources and contaminated materials within the identified sources. The DSI would seek to determine if a risk to human and ecological receptors exists, whether there is the potential for off-site migration of any identified contaminants and/or if management and consideration is required during construction.
- Undertake a historical titles search of the site which may provide pertinent information in regards to whether the underground storage tanks exist on site. If confirmed, attempt to locate, sample during the DSI fieldwork. It is further recommended that additional groundwater wells be installed to assess groundwater the conditions beneath the site.
- In the event the DSI identifies CoPC above the adopted site criteria investigation levels, the site may require further investigation in the form of a Data Gap Investigation (DGI). This would further clarify the risk to human and ecological receptors and/or recommend appropriate site remediation measures that can be implemented to mitigate potential impacts on human health and the environment, coupled with management and consideration required during construction.
- An updated Hazardous Building Materials (HBM) survey should be undertaken prior to any demolition to assess the condition of hazardous building materials and areas identified in the Getex, 2020 Asbestos Building Materials Register and Management Plan. Any information on asbestos clearance and/or remediation activities for friable soils on site, if available should be identified and provided.
- All materials that are to leave the site intended for waste disposal or beneficial re-use must be classified in accordance with the NSW EPA *Waste Classification Guidelines*, (November 2014) and/or applicable NSW EPA *Resource Recovery Orders*.



PRELIMINARY SITE INVESTIGATION – 7A-11 RACECOURSE ROAD AND 32-50 YOUNG STREET, WEST GOSFORD

Limitations

LIMITATIONS

This assessment has been undertaken in general accordance with the current “industry standards” for a PSI for the purpose and objectives and scope identified in this report. These standards are set out in:

- *National Environment Protection (Assessment of Site Contamination) Measure (NEPM) 1999* (NEPC, 1999) as varied May 2013 (the ‘NEPM 2013’).
- *AS4482.1- 2005: Guide to the sampling and investigation of potentially contaminated soil Part 1: Non-volatile and semi-volatile compounds*. Standards Australia (2005).

The agreed scope of this assessment has been limited for the current purposes of the Client. The assessment may not identify contamination occurring in all areas of the site, or occurring after sampling was conducted. Subsurface conditions may vary considerably away from the sample locations where information has been obtained.

This document has been provided by Stantec subject to the following limitations:

- This Document has been prepared for the particular purpose outlined in Stantec’s proposal and no responsibility is accepted for the use of this Document, in whole or in part, in other contexts or for any other purpose.
- The scope and the period of Stantec’s services are as described in Stantec’s proposal, and are subject to restrictions and limitations. Stantec did not perform a complete assessment of all possible conditions or circumstances that may exist at the site referenced in the Document. If a service is not expressly indicated, do not assume it has been provided. If a matter is not addressed, do not assume that any determination has been made by Stantec in regards to it.
- Conditions may exist which were undetectable given the limited nature of the enquiry Stantec was retained to undertake with respect to the site. Variations in conditions may occur between investigatory locations, and there may be special conditions pertaining to the site which have not been revealed by the investigation and which have not therefore been taken into account in the Document. Accordingly, additional studies and actions may be required.
- In addition, it is recognised that the passage of time affects the information and assessment provided in this Document. Stantec’s opinions are based upon information that existed at the time of the production of the Document. It is understood that the services provided allowed Stantec to form no more than an opinion of the actual conditions of the site at the time this Document was prepared and cannot be used to assess the effect of any subsequent changes in the quality of the site, or its surroundings, or any laws or regulations.
- Any assessments made in this Document are based on the conditions indicated from published sources and the investigation described. No warranty is included, either express or implied, that the actual conditions will conform exactly to the assessments contained in this Document.



PRELIMINARY SITE INVESTIGATION – 7A-11 RACECOURSE ROAD AND 32-50 YOUNG STREET, WEST GOSFORD

Limitations

- Where data supplied by the client or other external sources, including previous site investigation data, have been used, it has been assumed that the information is correct unless otherwise stated. No responsibility is accepted by Stantec for incomplete or inaccurate data supplied by others.
- Stantec may have retained sub consultants affiliated with Stantec to provide services for the benefit of Stantec. To the maximum extent allowed by law, the Client acknowledges and agrees it will not have any direct legal recourse to, and waives any claim, demand, or cause of action against, Stantec's affiliated companies, and their employees, officers and directors.

This assessment report is **not** any of the following:

- A Site Audit Report or Site Audit Statement as defined under the CLM Act.
- A site investigation sufficient for an Site Auditor to be able to conclude a Site Audit Report and Site Audit Statement.
- An assessment of soil, sediment, water or gas.
- A geotechnical report.
- A detailed hydrogeological assessment in conformance with NSW DEC (2007) Contaminated Sites: Guidelines for the Assessment and Management of Groundwater Contamination.
- A hazardous building material survey that will identify any specific building materials on site, which may pose a risk to human health or the environment.



PRELIMINARY SITE INVESTIGATION – 7A-11 RACECOURSE ROAD AND 32-50 YOUNG STREET, WEST GOSFORD

References

REFERENCES

Central Coast Council (2022). *Central Coast Council Local Environment Plan*.

Getex Pty Ltd (2020). Asbestos Building Materials Register and Management Plan for 9A-11 Racecourse Road, West Gosford NSW 2250. Prepared for Busways Group Pty Ltd. Issued 12 December 2020. Report Number 1122.07.ASSR

DPE (2021). *Informal Pre-Development Application Advice 7A-11 Racecourse Road, 5-9 Faunce Street & 36 Young Street, West Gosford*.

HEPA (2020). PFAS National Environmental Management Plan, Version 2.0. National Chemicals Working Group of the Heads of EPAs

Lotsearch Pty Ltd (2022). *Lotsearch Report LS039106 EP.*, Issued 19 December 2022.

NSW EPA (2015). *Guidelines on the Duty to Report Contamination under the Contaminated Land Management Act 1997*. NSW Environment Protection Authority, Sydney. September 2015.

NSW EPA (2017). *Contaminated Land Management: Guidelines for the NSW Site Auditor Scheme (3rd edition)*. NSW Environment Protection Authority, Sydney. October 2017.

NSW EPA (2020). *Consultants Reporting on Contaminated Land*, Contaminated Land Guidelines, NSW Environment Protection Authority, Sydney, April 2020.



APPENDIX A

Figures



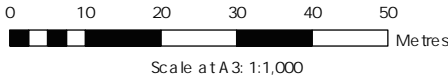
Site Plan
Racecourse Road
West Gosford, New South Wales

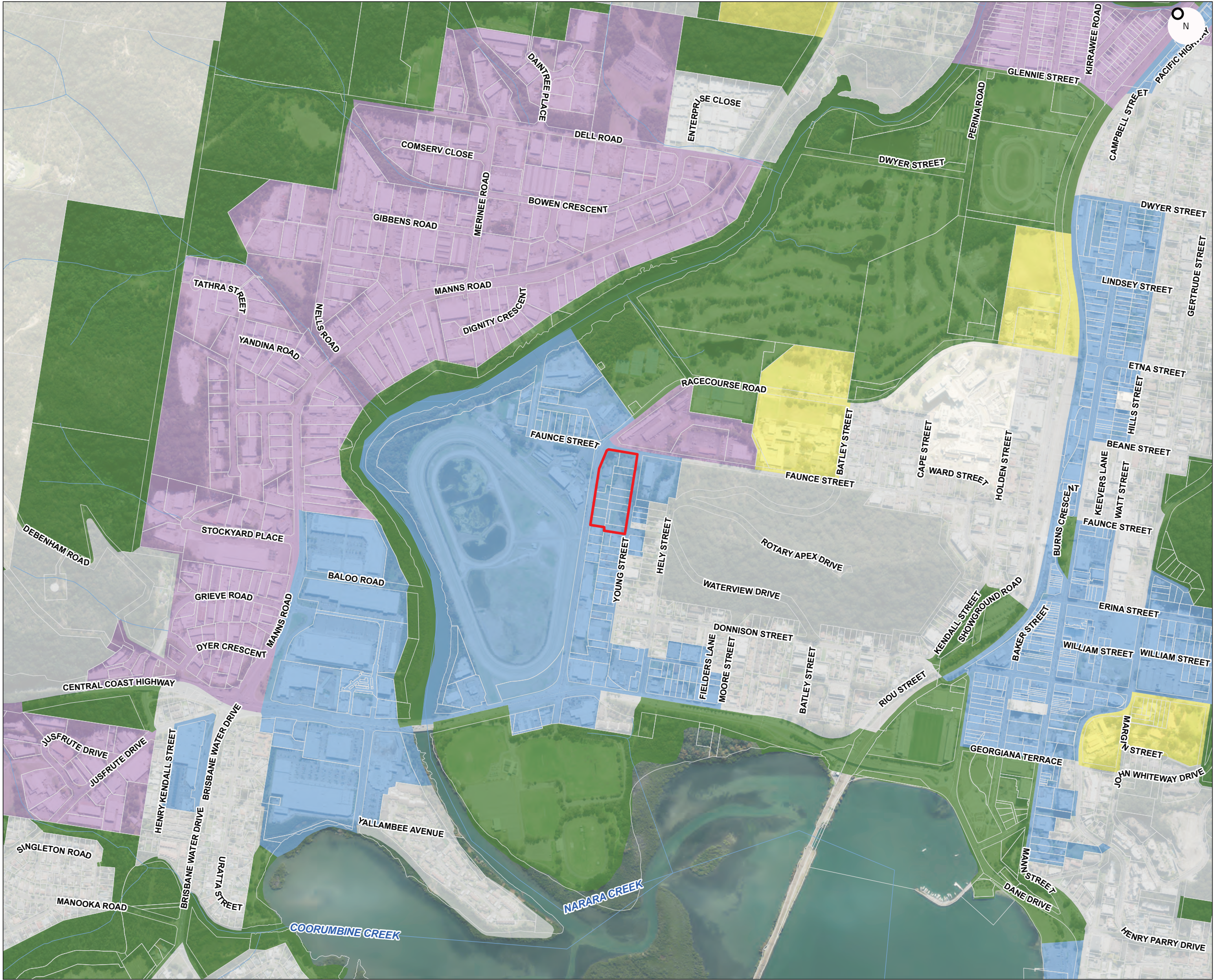
Project Code: 3000304375-G S-001
Drawn By: AC, Checked By: SM
Rev: 01
Date: 2023-01-31

- Legend
- Site Boundary
 - Cadastre

DRAFT - NOT FOR CONSTRUCTION

- Notes
- 1. Map displayed in GDA 2020 MGA Zone 56
- References
- 1. Aerial imagery - MetroMap (September, 2022)
 - 2. Cadastre - NSW SS (2022)





Land Use Plan

Racecourse Road
West Gosford, New South Wales

Project Code: 3000304375-G-S-002
Drawn By: AC, Checked By: SM
Rev: 01
Date: 2023-01-31

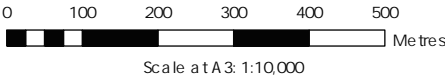
Legend

- Site Boundary
- Watercourse
- Cadastral
- Land Use (ABS 2021)
 - Commercial
 - Education
 - Industrial
 - Parkland
 - Residential
 - Other

DRAFT - NOT FOR CONSTRUCTION

Notes
1. Map displayed in GDA 2020 MGA Zone 56

References
1. Aerial imagery - MetroMap (September, 2022)
2. Cadastral - NSW SS (2022)
3. Watercourses - NSW SS
4. Land Use - ABS (2021)





Regional Vicinity

Racecourse Road
West Gosford, New South Wales

Project Code: 3000304375-G-S-003
Drawn By: AC, Checked By: SM
Rev: 01
Date: 2023-01-31

Legend

- Site Boundary
- Watercourse
- Cadastre

DRAFT - NOT FOR CONSTRUCTION

Notes

- Map displayed in GDA 2020 MGA Zone 56

References

- Aerial imagery - MetroMap (September, 2022)
- Cadastre - NSW SS (2022)
- Watercourses - NSW SS





Site Walkover Observations

Racecourse Road
West Gosford, New South Wales

Project Code: 3000304375-GS-001
Drawn By: AC, Checked By: MMM
Rev: 02
Date: 2023-02-03

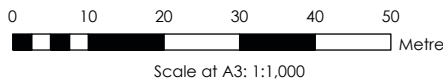
Legend

- Site Boundary
- Field Observation Point
- Cadastre

DRAFT - NOT FOR CONSTRUCTION

Notes:
1. Map displayed in GDA2020 MGA Zone 56

References:
1. Aerial imagery - MetroMap (September, 2022)
2. Cadastre - NSW SS (2022)



APPENDIX B

Photographic Log

Photo Location 1

Photo Location: 1

Comments: Asbestos sheeting, poor condition (confirmed by Getex, 2020).

Supporting Photos:



Photo Location 2

Photo Location: 2

Comments:

Fly-tipped metal object on site, viewed from Young Street.

Supporting Photos:



Photo Location 3

Photo Location: 3

Comments: Mechanic, off-site, Young Street. Up-gradient.

Supporting Photos:



Photo Location 4

Photo Location: 4

Comments:

Hole in fence on Young Street.

Supporting Photos:



Photo Location 5

Photo Location: 5

Comments:

Asbestos roofing and panelling of open stable.

Supporting Photos:



Photo Location 6

Photo Location: 6

Comments:

Potentially fly-tipped demolition waste on embankment containing concrete slab, tyres, bricks near the open stable.

Supporting Photos:



Photo Location 7

Photo Location: 7

Comments:

Potential flow pathway for asbestos impacts in surficial soils, down gradient (south). Asphalt stained in areas, white (inferred paint).

Supporting Photos:



Photo Location 8

Photo Location: 8

Comments:

Enclosed stable. Drainage line down-gradient of open stable.

Supporting Photos:



Photo Location 9

Photo Location: 9

Comments: Stormwater pit, down-gradient of stables.

Supporting Photos:



Photo Location 10

Photo Location: 10

Comments:

Asbestos sign on electrical backing board.

Supporting Photos:



Photo Location 11

Photo Location: 11

Comments:

Fly-tipped building waste, mainly timber off-cuts on edge of site boundary near Young Street.

Supporting Photos:



Photo Location 12

Photo Location: 12

Comments:

Asbestos roof of enclosed stable, 3 downpipes in average condition. Potential asbestos in surficial soils below downpipes.

Supporting Photos:



Photo Location 13

Photo Location: 13

Comments:

Material off-cuts used for cabinetry making contained in a trailer near the detached garage.

Supporting Photos:



Photo Location 14

Photo Location: 14

Comments:

Southern enclosed stable, used for cabinetry making and storage including batteries, car wash chemicals, fuel and oils.

Supporting Photos:

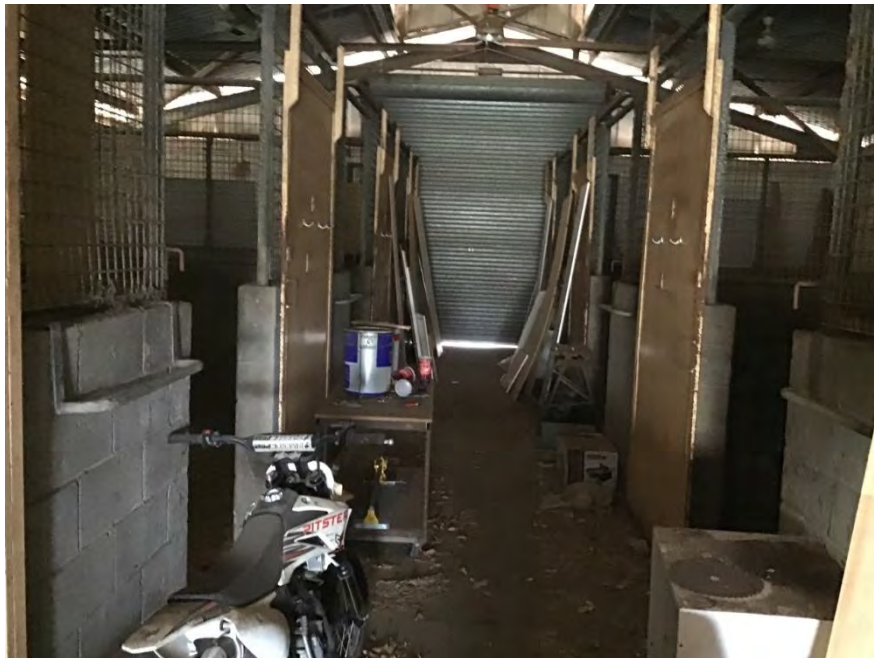


Photo Location 15

Photo Location: 15

Comments: Potential septic tank, connected to the detached garage.

Supporting Photos:



Photo Location 16

Photo Location: 16

Comments:

Fly-tipped demolition waste on site boundary near Young Street.

Supporting Photos:



Photo Location 17

Photo Location: 17

Comments: Stormwater pit.

Supporting Photos:



Photo Location 18

Photo Location: 18

Comments: Gravel driveway, fill material.

Supporting Photos:



Photo Location 19

Photo Location: 19

Comments:

Grass die-back in the centre of site.

Supporting Photos:



Photo Location 20

Photo Location: 20

Comments: Potential fill material, coal and bricks observed in-situ (5x2 m)

Supporting Photos:



Photo Location 21

Photo Location: 21

Comments:

Possible former foundation, potential drain observed.

Supporting Photos:



Photo Location 22

Photo Location: 22

Comments: Hardstand area.

Supporting Photos:



Photo Location 23

Photo Location: 23

Comments:

Metal object observed in-situ, potential fill material.

Supporting Photos:



Photo Location 24

Photo Location: 24

Comments:

Potential fill material, bricks, timber, plastics observed in-situ.

Supporting Photos:



Photo Location 25

Photo Location: 25

Comments: Hardstand area.

Supporting Photos:



Photo Location 26

Photo Location: 26

Comments:

Potential fill material, gravelled area, inconsistent gravel sizes.

Supporting Photos:



Photo Location 27

Photo Location: 27

Comments: PACM fragment at surface in gravelled area, north-east of site.

Supporting Photos:



Photo Location 28

Photo Location: 28

Comments:

Fly-tipped large pallet of MDF (deteriorating) and other wastes including newspapers, carpet, timber and concrete.

Supporting Photos:



Photo Location 29

Photo Location: 29

Comments: Potential overgrown stockpile, concrete observed in-situ.

Supporting Photos:



Photo Location 30

Photo Location: 30

Comments: Scattered concrete and brick fragments on surface. Old foundations.

Supporting Photos:



Photo Location 31

Photo Location: 31

Comments: Old brick form work, building foundation.

Supporting Photos:



Photo Location 32

Photo Location: 32

Comments: Hardstand area, hollow. Potential drain.

Supporting Photos:



Photo Location 33

Photo Location: 33

Comments:

Asphalt driveway with overgrown vegetation. South-east corner of site near Young Street.

Supporting Photos:



Photo Location 34

Photo Location: 34

Comments:

Small fly-tipped stockpile, mainly roof tiles (1x1 m), near asphalt driveway, Young Street.

Supporting Photos:



Photo Location 35

Photo Location: 35

Comments: Southern neighbouring property, appears un-used.

Supporting Photos:



Photo Location 36

Photo Location: 36

Comments:

View of site slope (south-west), near Racecourse Road, facing north-east.

Supporting Photos:



Photo Location 37

Photo Location: 37

Comments: Utility manhole, near Racecourse Road.

Supporting Photos:



Photo Location 38

Photo Location: 38

Comments: Concrete slab, in-situ.

Supporting Photos:



Photo Location 39

Photo Location: 39

Comments: Concrete and asphalt in-situ

Supporting Photos:



Photo Location 40

Photo Location: 40

Comments:

Potential fill material, brick in-situ.

Supporting Photos:



Photo Location 41

Photo Location: 41

Comments:

Potential fill material, concrete chunk in-situ.

Supporting Photos:



Photo Location 42

Photo Location: 42

Comments: Asbestos sign in electrical box and building sheeting.

Supporting Photos:



Photo Location 43

Photo Location: 43

Comments: Asphalt hardstand driveway near enclosed stable.

Supporting Photos:



Photo Location 44

Photo Location: 44

Comments: Asbestos roofing on enclosed stable.

Supporting Photos:



Photo Location 45

Photo Location: 45

Comments: Potential wash bay, metal drum deteriorated (empty).

Supporting Photos:



Photo Location 46

Photo Location: 46

Comments: Stored paints not banded, sealed containers.

Supporting Photos:



Photo Location 47

Photo Location: 47

Comments:

Potentially fly-tipped demolition waste on embankment containing cement, metal sheeting near open stable.

Supporting Photos:



Photo Location 48

Photo Location: 48

Comments:

Service: water main.

Supporting Photos:



Photo Location 49

Photo Location: 49

Comments:

General waste in-situ, containing tyres and timber off cuts near open stable.

Supporting Photos:



Photo Location 50

Photo Location: 50

Comments:

Embankment sandstone chunks in-situ, potential fill material near open stable.

Supporting Photos:



Photo Location 51

Photo Location: 51

Comments:

Horse arena.

Supporting Photos:



Photo Location 52

Photo Location: 52

Comments:

Potential material sorting yard, Faunce Street (up-gradient). Off-site.

Supporting Photos:



APPENDIX C

Lotsearch Report



LOTSEARCH
LOTSEARCH ENVIRO PROFESSIONAL

Date: 19 Dec 2022 16:43:19

Reference: LS039106 EP

Address: 7a-11 Racecourse Road and 32-50 Young Street, West Gosford, NSW 2250

Disclaimer:

The purpose of this report is to provide an overview of some of the site history, environmental risk and planning information available, affecting an individual address or geographical area in which the property is located. It is not a substitute for an on-site inspection or review of other available reports and records. It is not intended to be, and should not be taken to be, a rating or assessment of the desirability or market value of the property or its features.

You should obtain independent advice before you make any decision based on the information within the report.

The detailed terms applicable to use of this report are set out at the end of this report.

Dataset Listing

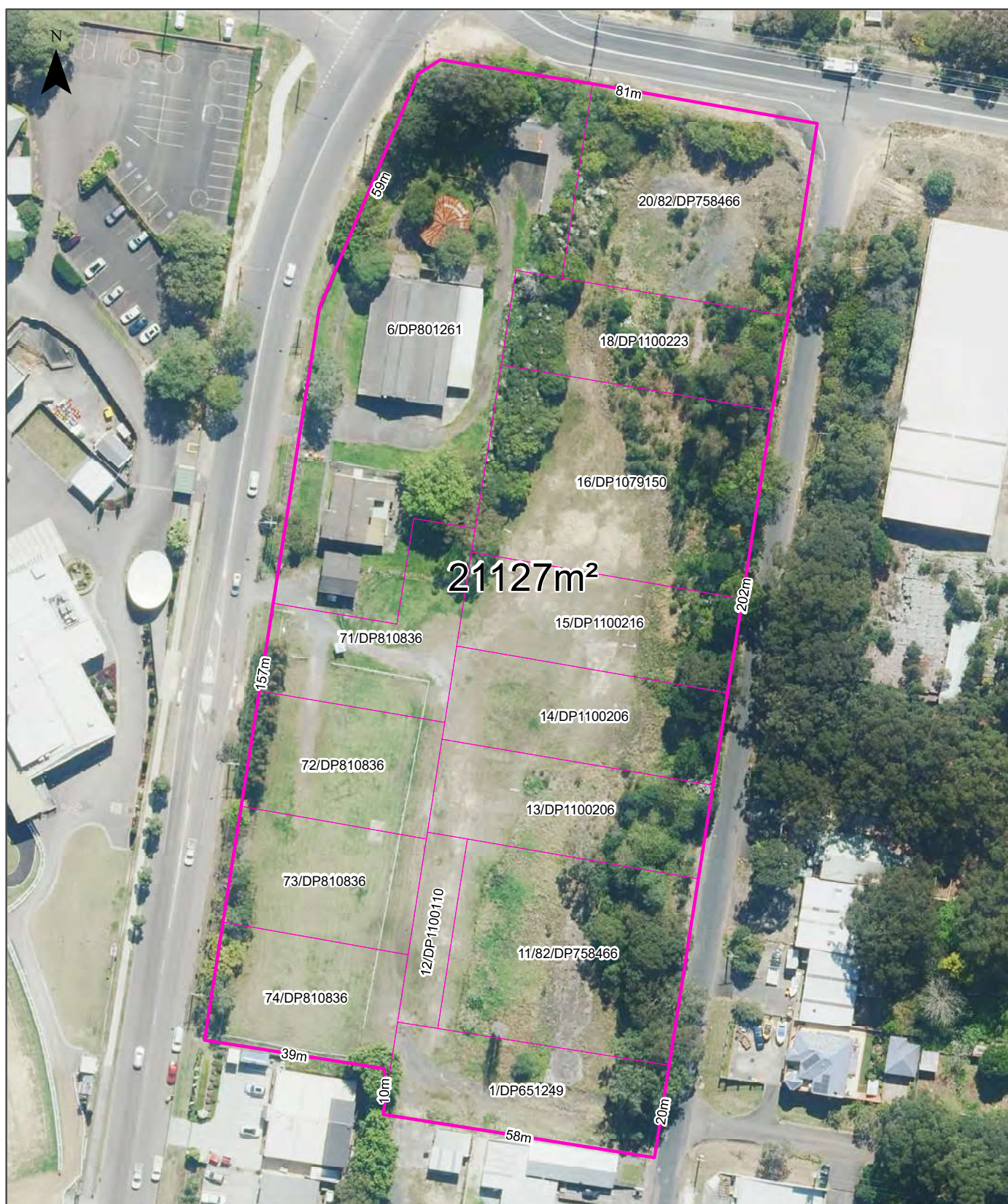
Datasets contained within this report, detailing their source and data currency:

| Dataset Name | Custodian | Supply Date | Currency Date | Update Frequency | Dataset Buffer (m) | No. Features On-site | No. Features within 100m | No. Features within Buffer |
|---|---|-------------|---------------|------------------|--------------------|----------------------|--------------------------|----------------------------|
| Cadastre Boundaries | NSW Department of Customer Service - Spatial Services | 04/11/2022 | 04/11/2022 | Quarterly | - | - | - | - |
| Topographic Data | NSW Department of Customer Service - Spatial Services | 22/08/2022 | 22/08/2022 | Annually | - | - | - | - |
| List of NSW contaminated sites notified to EPA | Environment Protection Authority | 09/12/2022 | 14/10/2022 | Monthly | 1000m | 0 | 0 | 5 |
| Contaminated Land Records of Notice | Environment Protection Authority | 01/12/2022 | 01/12/2022 | Monthly | 1000m | 0 | 0 | 2 |
| Former Gasworks | Environment Protection Authority | 06/12/2022 | 14/07/2021 | Quarterly | 1000m | 0 | 0 | 0 |
| National Waste Management Facilities Database | Geoscience Australia | 26/05/2022 | 07/03/2017 | Annually | 1000m | 0 | 0 | 0 |
| National Liquid Fuel Facilities | Geoscience Australia | 23/08/2022 | 13/07/2012 | Annually | 1000m | 0 | 0 | 5 |
| EPA PFAS Investigation Program | Environment Protection Authority | 09/12/2022 | 23/09/2022 | Monthly | 2000m | 0 | 0 | 0 |
| Defence PFAS Investigation & Management Program - Investigation Sites | Department of Defence | 05/12/2022 | 05/12/2022 | Monthly | 2000m | 0 | 0 | 0 |
| Defence PFAS Investigation & Management Program - Management Sites | Department of Defence | 05/12/2022 | 05/12/2022 | Monthly | 2000m | 0 | 0 | 0 |
| Airservices Australia National PFAS Management Program | Airservices Australia | 13/12/2022 | 13/12/2022 | Monthly | 2000m | 0 | 0 | 0 |
| Defence 3 Year Regional Contamination Investigation Program | Department of Defence | 02/09/2022 | 02/09/2022 | Quarterly | 2000m | 0 | 0 | 0 |
| EPA Other Sites with Contamination Issues | Environment Protection Authority | 16/02/2022 | 13/12/2018 | Annually | 1000m | 0 | 0 | 0 |
| Licensed Activities under the POEO Act 1997 | Environment Protection Authority | 01/12/2022 | 01/12/2022 | Monthly | 1000m | 0 | 0 | 5 |
| Delicensed POEO Activities still regulated by the EPA | Environment Protection Authority | 01/12/2022 | 01/12/2022 | Monthly | 1000m | 0 | 0 | 3 |
| Former POEO Licensed Activities now revoked or surrendered | Environment Protection Authority | 01/12/2022 | 01/12/2022 | Monthly | 1000m | 0 | 1 | 4 |
| UBD Business Directories (Premise & Intersection Matches) | Hardie Grant | | | Not required | 150m | 0 | 18 | 33 |
| UBD Business Directories (Road & Area Matches) | Hardie Grant | | | Not required | 150m | - | 11 | 21 |
| UBD Business Directory Dry Cleaners & Motor Garages/Service Stations (Premise & Intersection Matches) | Hardie Grant | | | Not required | 500m | 0 | 1 | 3 |
| UBD Business Directory Dry Cleaners & Motor Garages/Service Stations (Road & Area Matches) | Hardie Grant | | | Not required | 500m | - | 2 | 29 |
| Points of Interest | NSW Department of Customer Service - Spatial Services | 19/10/2022 | 19/10/2022 | Quarterly | 1000m | 0 | 1 | 33 |
| Tanks (Areas) | NSW Department of Customer Service - Spatial Services | 19/10/2022 | 19/10/2022 | Quarterly | 1000m | 0 | 0 | 0 |
| Tanks (Points) | NSW Department of Customer Service - Spatial Services | 19/10/2022 | 19/10/2022 | Quarterly | 1000m | 0 | 0 | 1 |
| Major Easements | NSW Department of Customer Service - Spatial Services | 15/11/2022 | 15/11/2022 | Quarterly | 1000m | 0 | 1 | 18 |
| State Forest | Forestry Corporation of NSW | 16/08/2022 | 14/08/2022 | Annually | 1000m | 0 | 0 | 0 |
| NSW National Parks and Wildlife Service Reserves | NSW Office of Environment & Heritage | 10/02/2022 | 31/12/2021 | Annually | 1000m | 0 | 0 | 0 |
| Hydrogeology Map of Australia | Commonwealth of Australia (Geoscience Australia) | 29/08/2022 | 19/08/2019 | Annually | 1000m | 1 | 1 | 1 |
| Temporary Water Restriction (Botany Sands Groundwater Source) Order 2018 | NSW Department of Planning, Industry and Environment | 28/03/2022 | 23/02/2018 | Annually | 1000m | 0 | 0 | 0 |
| National Groundwater Information System (NGIS) Boreholes | Bureau of Meteorology; Water NSW | 24/01/2022 | 24/01/2022 | Annually | 2000m | 0 | 0 | 52 |

| Dataset Name | Custodian | Supply Date | Currency Date | Update Frequency | Dataset Buffer (m) | No. Features On-site | No. Features within 100m | No. Features within Buffer |
|---|--|-------------|---------------|------------------|--------------------|----------------------|--------------------------|----------------------------|
| NSW Seamless Geology Single Layer: Rock Units | Department of Regional NSW | 17/02/2022 | 01/05/2021 | Annually | 1000m | 1 | 2 | 8 |
| NSW Seamless Geology – Single Layer: Trendlines | Department of Regional NSW | 17/02/2022 | 01/05/2021 | Annually | 1000m | 0 | 0 | 2 |
| NSW Seamless Geology – Single Layer: Geological Boundaries and Faults | Department of Regional NSW | 17/02/2022 | 01/05/2021 | Annually | 1000m | 0 | 0 | 0 |
| Naturally Occurring Asbestos Potential | NSW Dept. of Industry, Resources & Energy | 04/12/2015 | 24/09/2015 | Unknown | 1000m | 0 | 0 | 0 |
| Atlas of Australian Soils | Australian Bureau of Agriculture and Resource Economics and Sciences (ABARES) | 19/05/2017 | 17/02/2011 | As required | 1000m | 1 | 1 | 2 |
| Soil Landscapes of Central and Eastern NSW | NSW Department of Planning, Industry and Environment | 18/08/2022 | 27/07/2020 | Annually | 1000m | 2 | 2 | 5 |
| Environmental Planning Instrument Acid Sulfate Soils | NSW Department of Planning, Industry and Environment | 14/12/2022 | 02/12/2022 | Monthly | 500m | 3 | - | - |
| Atlas of Australian Acid Sulfate Soils | CSIRO | 19/01/2017 | 21/02/2013 | As required | 1000m | 1 | 1 | 3 |
| Dryland Salinity - National Assessment | National Land and Water Resources Audit | 18/07/2014 | 12/05/2013 | None planned | 1000m | 0 | 0 | 0 |
| Mining Subsidence Districts | NSW Department of Customer Service - Subsidence Advisory NSW | 09/11/2022 | 09/11/2022 | Quarterly | 1000m | 0 | 0 | 0 |
| Current Mining Titles | NSW Department of Industry | 13/12/2022 | 13/12/2022 | Monthly | 1000m | 0 | 0 | 0 |
| Mining Title Applications | NSW Department of Industry | 13/12/2022 | 13/12/2022 | Monthly | 1000m | 0 | 0 | 0 |
| Historic Mining Titles | NSW Department of Industry | 13/12/2022 | 13/12/2022 | Monthly | 1000m | 13 | 13 | 16 |
| Environmental Planning Instrument SEPP State Significant Precincts | NSW Department of Planning, Industry and Environment | 15/11/2021 | 07/12/2018 | Monthly | 1000m | 0 | 0 | 0 |
| Environmental Planning Instrument Land Zoning | NSW Department of Planning, Industry and Environment | 15/12/2022 | 02/12/2022 | Monthly | 1000m | 1 | 6 | 47 |
| Commonwealth Heritage List | Australian Government Department of the Agriculture, Water and the Environment | 03/06/2022 | 13/04/2022 | Annually | 1000m | 0 | 0 | 0 |
| National Heritage List | Australian Government Department of the Agriculture, Water and the Environment | 03/06/2022 | 13/04/2022 | Annually | 1000m | 0 | 0 | 0 |
| State Heritage Register - Curtilages | NSW Department of Planning, Industry and Environment | 18/10/2022 | 01/07/2022 | Quarterly | 1000m | 0 | 0 | 0 |
| Environmental Planning Instrument Local Heritage | NSW Department of Planning, Industry and Environment | 14/12/2022 | 02/12/2022 | Monthly | 1000m | 0 | 0 | 3 |
| Bush Fire Prone Land | NSW Rural Fire Service | 19/12/2022 | 25/10/2022 | Weekly | 1000m | 1 | 2 | 2 |
| Vegetation of Gosford LGA | Council of the City of Gosford / NSW Office of Environment and Heritage | 08/12/2014 | 31/12/2009 | Annually | 1000m | 0 | 2 | 11 |
| Ramsar Wetlands of Australia | Australian Government Department of Agriculture, Water and the Environment | 28/03/2022 | 19/03/2020 | Annually | 1000m | 0 | 0 | 0 |
| Groundwater Dependent Ecosystems | Bureau of Meteorology | 28/10/2022 | 26/10/2022 | Annually | 1000m | 0 | 0 | 2 |
| Inflow Dependent Ecosystems Likelihood | Bureau of Meteorology | 28/10/2022 | 26/10/2022 | Annually | 1000m | 0 | 0 | 4 |
| NSW BioNet Species Sightings | NSW Office of Environment & Heritage | 19/12/2022 | 19/12/2022 | Weekly | 10000m | - | - | - |

Site Diagram

7a-11 Racecourse Road and 32-50 Young Street, West Gosford, NSW 2250



Legend

- Site Boundary
- Internal Parcel Boundaries

Total Area: 21127m²

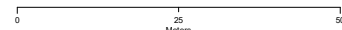
Total Perimeter: 627m

Disclaimers:

Measurements are approximate only and may have been simplified or smaller lengths removed for readability.

Parcels that make up a small percentage of the total site area have not been labelled for increased legibility.

Scale:



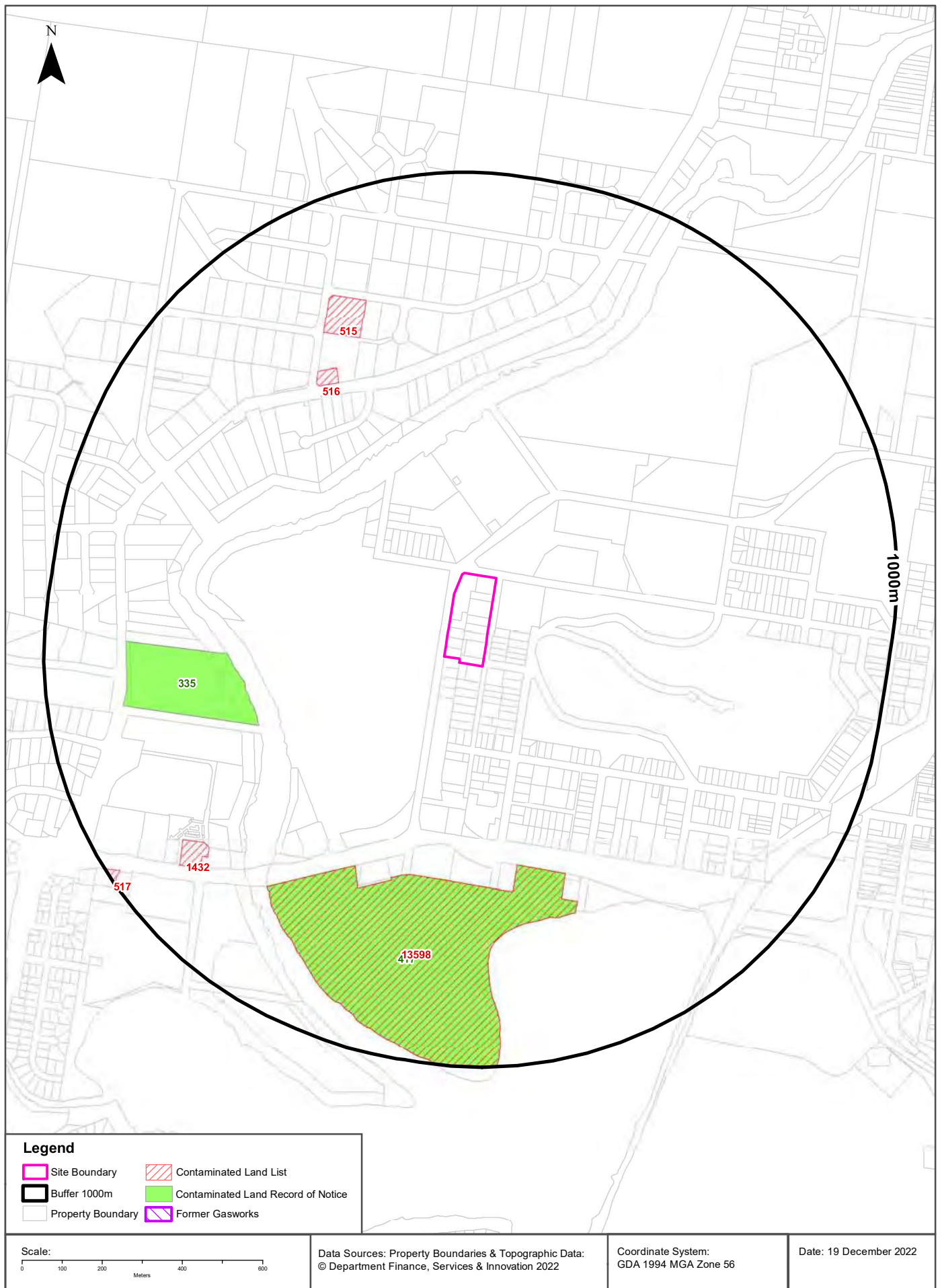
Data Source Aerial Imagery:
© Aerometrex Pty Ltd

Coordinate System:
GDA 1994 MGA Zone 56

Date: 19 December 2022

Contaminated Land

7a-11 Racecourse Road and 32-50 Young Street, West Gosford, NSW 2250



Contaminated Land

7a-11 Racecourse Road and 32-50 Young Street, West Gosford, NSW 2250

List of NSW contaminated sites notified to EPA

Records from the NSW EPA Contaminated Land list within the dataset buffer:

| Map Id | Site | Address | Suburb | Activity | Management Class | Status | Location Confidence | Dist | Direction |
|--------|-----------------------------|--|--------------|-----------------|---|------------------|---------------------|------|------------|
| 13598 | Adcock Memorial Park | Central Coast HIGHWAY | WEST GOSFORD | Landfill | Contamination currently regulated under CLM Act | Current EPA List | Premise Match | 505m | South |
| 516 | Caltex Service Station | 283 Manns Road | West Gosford | Service Station | Regulation under CLM Act not required | Current EPA List | Premise Match | 569m | North West |
| 515 | United (former Mobil) Depot | Corner Merinee Road and Bowen Crescent | Gosford | Other Petroleum | Regulation under CLM Act not required | Current EPA List | Premise Match | 641m | North West |
| 1432 | Caltex Service Station | 69-71 Pacific Highway | West Gosford | Service Station | Regulation under CLM Act not required | Current EPA List | Premise Match | 757m | South West |
| 517 | Caltex Service Station | 30a Pacific Highway | West Gosford | Service Station | Regulation under CLM Act not required | Current EPA List | Premise Match | 971m | South West |

The values within the EPA site management class in the table above, are given more detailed explanations in the table below:

| EPA site management class | Explanation |
|---|---|
| Contamination being managed via the planning process (EP&A Act) | The EPA has completed an assessment of the contamination and decided that the contamination is significant enough to warrant regulation. The contamination of this site is managed by the consent authority under the Environmental Planning and Assessment Act 1979 (EP&A Act) planning approval process, with EPA involvement as necessary to ensure significant contamination is adequately addressed. The consent authority is typically a local council or the Department of Planning and Environment. |
| Contamination currently regulated under CLM Act | The EPA has completed an assessment of the contamination and decided that the contamination is significant enough to warrant regulation under the Contaminated Land Management Act 1997 (CLM Act). Management of the contamination is regulated by the EPA under the CLM Act. Regulatory notices are available on the EPA's Contaminated Land Public Record of Notices. |
| Contamination currently regulated under POEO Act | The EPA has completed an assessment of the contamination and decided that the contamination is significant enough to warrant regulation. Management of the contamination is regulated under the Protection of the Environment Operations Act 1997 (POEO Act). The EPA's regulatory actions under the POEO Act are available on the POEO public register. |
| Contamination formerly regulated under the CLM Act | The EPA has determined that the contamination is no longer significant enough to warrant regulation under the Contaminated Land Management Act 1997 (CLM Act). The contamination was addressed under the CLM Act. |
| Contamination formerly regulated under the POEO Act | The EPA has determined that the contamination is no longer significant enough to warrant regulation. The contamination was addressed under the Protection of the Environment Operations Act 1997 (POEO Act). |
| Contamination was addressed via the planning process (EP&A Act) | The EPA has determined that the contamination is no longer significant enough to warrant regulation. The contamination was addressed by the appropriate consent authority via the planning process under the Environmental Planning and Assessment Act 1979 (EP&A Act). |
| Ongoing maintenance required to manage residual contamination (CLM Act) | The EPA has determined that ongoing maintenance, under the Contaminated Land Management Act 1997 (CLM Act), is required to manage the residual contamination. Regulatory notices under the CLM Act are available on the EPA's Contaminated Land Public Record of Notices. |
| Regulation being finalised | The EPA has completed an assessment of the contamination and decided that the contamination is significant enough to warrant regulation under the Contaminated Land Management Act 1997. A regulatory approach is being finalised. |
| Regulation under the CLM Act not required | The EPA has completed an assessment of the contamination and decided that regulation under the Contaminated Land Management Act 1997 is not required. |

| EPA site management class | Explanation |
|---------------------------|--|
| Under assessment | The contamination is being assessed by the EPA to determine whether regulation is required. The EPA may require further information to complete the assessment. For example, the completion of management actions regulated under the planning process or Protection of the Environment Operations Act 1997. Alternatively, the EPA may require information via a notice issued under s77 of the Contaminated Land Management Act 1997 or issue a Preliminary Investigation Order. |

NSW EPA Contaminated Land List Data Source: Environment Protection Authority
 © State of New South Wales through the Environment Protection Authority

Contaminated Land

7a-11 Racecourse Road and 32-50 Young Street, West Gosford, NSW 2250

Contaminated Land: Records of Notice

Record of Notices within the dataset buffer:

| Map Id | Name | Address | Suburb | Notices | Area No | Location Confidence | Distance | Direction |
|--------|----------------------|-----------------------|--------------|------------------------|---------|---------------------|----------|-----------|
| 335 | Metro Meat | 356 Manns Road | West Gosford | 2 former | 3028 | Premise Match | 490m | West |
| 417 | Adcock Memorial Park | Central Coast Highway | West Gosford | 3 current and 1 former | 3459 | Premise Match | 505m | South |

Contaminated Land Records of Notice Data Source: Environment Protection Authority

© State of New South Wales through the Environment Protection Authority

Terms of use and disclaimer for Contaminated Land: Record of Notices, please visit

<http://www.epa.nsw.gov.au/clm/clmdisclaimer.htm>

Former Gasworks

Former Gasworks within the dataset buffer:

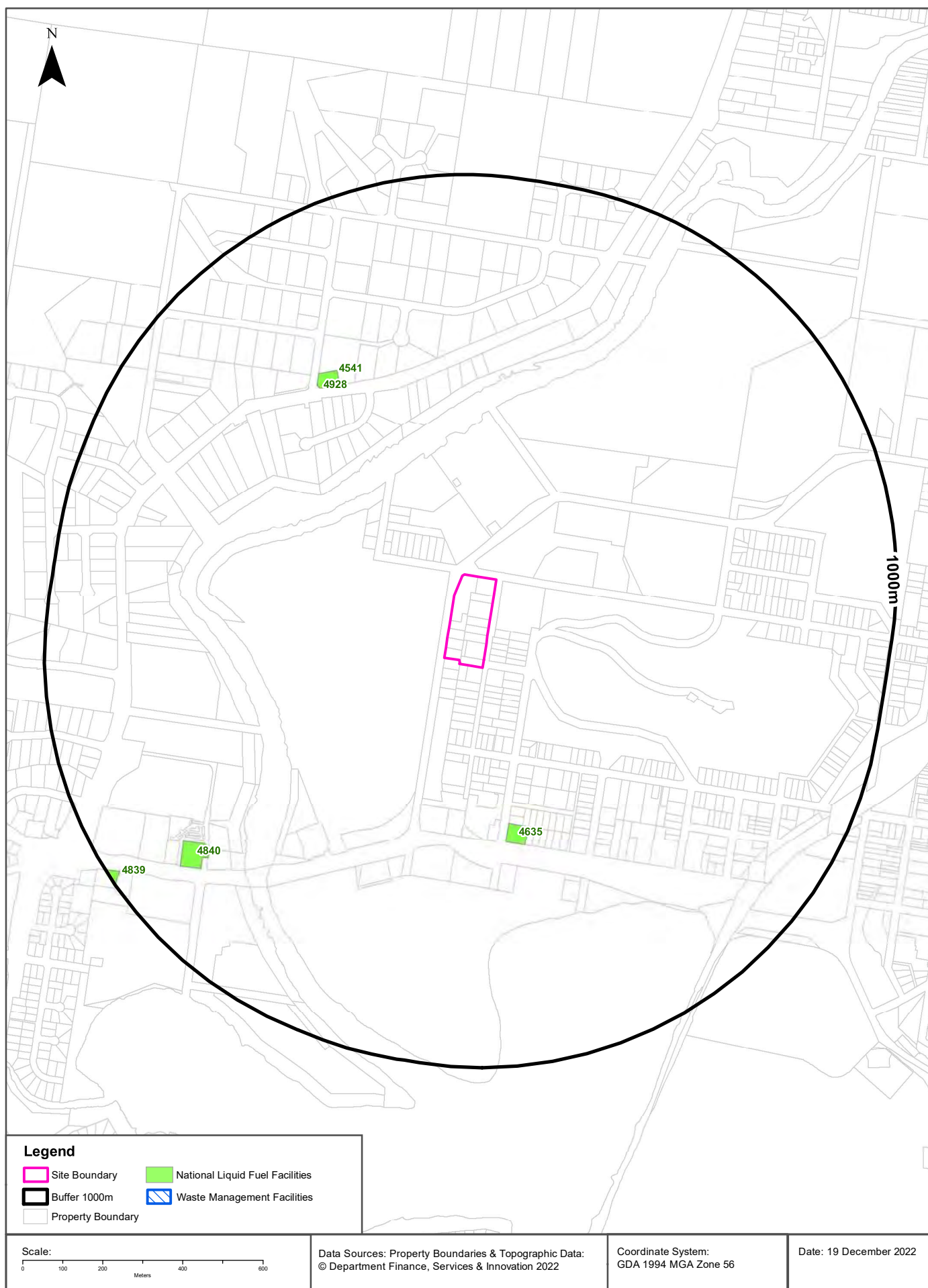
| Map Id | Location | Council | Further Info | Location Confidence | Distance | Direction |
|--------|----------------------|---------|--------------|---------------------|----------|-----------|
| N/A | No records in buffer | | | | | |

Former Gasworks Data Source: Environment Protection Authority

© State of New South Wales through the Environment Protection Authority

Waste Management & Liquid Fuel Facilities

7a-11 Racecourse Road and 32-50 Young Street, West Gosford, NSW 2250



Waste Management & Liquid Fuel Facilities

7a-11 Racecourse Road and 32-50 Young Street, West Gosford, NSW 2250

National Waste Management Site Database

Sites on the National Waste Management Site Database within the dataset buffer:

| Site Id | Owner | Name | Address | Suburb | Class | Landfill | Reprocess | Transfer | Comments | Loc Conf | Dist | Direction |
|---------|----------------------|------|---------|--------|-------|----------|-----------|----------|----------|----------|------|-----------|
| N/A | No records in buffer | | | | | | | | | | | |

Waste Management Facilities Data Source: Geoscience Australia

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National Liquid Fuel Facilities

National Liquid Fuel Facilities within the dataset buffer:

| Map Id | Owner | Name | Address | Suburb | Class | Operational Status | Operator | Revision Date | Loc Conf | Dist | Direction |
|--------|------------------|---------------------|---------------------|--------------|----------------|--------------------|----------|---------------|---------------|------|------------|
| 4635 | 7-Eleven Pty Ltd | Gosford West | 1 Hely Street | Gosford | Petrol Station | Operational | | 13/07/2012 | Premise Match | 395m | South |
| 4541 | Caltex | Caltex West Gosford | 283 Manns Road | West Gosford | Petrol Station | Operational | | 25/07/2011 | Premise Match | 569m | North West |
| 4928 | Caltex | Caltex Gosford West | 283 Manns Road | West Gosford | Petrol Station | Operational | | 25/07/2011 | Premise Match | 569m | North West |
| 4840 | Caltex | Caltex Gosford West | 71 Pacific Highway | West Gosford | Petrol Station | Operational | | 25/07/2011 | Premise Match | 757m | South West |
| 4839 | Caltex | Caltex Gosford West | 30A Pacific Highway | West Gosford | Petrol Station | Operational | | 25/07/2011 | Premise Match | 971m | South West |

National Liquid Fuel Facilities Data Source: Geoscience Australia

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PFAS Investigation & Management Programs

7a-11 Racecourse Road and 32-50 Young Street, West Gosford, NSW 2250

EPA PFAS Investigation Program

Sites that are part of the EPA PFAS investigation program, within the dataset buffer:

| Map ID | Site | Address | Loc Conf | Dist | Dir |
|--------|----------------------|---------|----------|------|-----|
| N/A | No records in buffer | | | | |

EPA PFAS Investigation Program: Environment Protection Authority
© State of New South Wales through the Environment Protection Authority

Defence PFAS Investigation Program

Sites being investigated by the Department of Defence for PFAS contamination within the dataset buffer:

| Map ID | Base Name | Address | Loc Conf | Dist | Dir |
|--------|----------------------|---------|----------|------|-----|
| N/A | No records in buffer | | | | |

Defence PFAS Investigation Program Data Custodian: Department of Defence, Australian Government

Defence PFAS Management Program

Sites being managed by the Department of Defence for PFAS contamination within the dataset buffer:

| Map ID | Base Name | Address | Loc Conf | Dist | Dir |
|--------|----------------------|---------|----------|------|-----|
| N/A | No records in buffer | | | | |

Defence PFAS Management Program Data Custodian: Department of Defence, Australian Government

Airservices Australia National PFAS Management Program

Sites being investigated or managed by Airservices Australia for PFAS contamination within the dataset buffer:

| Map ID | Site Name | Impacts | Loc Conf | Dist | Dir |
|--------|----------------------|---------|----------|------|-----|
| N/A | No records in buffer | | | | |

Airservices Australia National PFAS Management Program Data Custodian: Airservices Australia

Defence Sites

7a-11 Racecourse Road and 32-50 Young Street, West Gosford, NSW 2250

Defence 3 Year Regional Contamination Investigation Program

Sites which have been assessed as part of the Defence 3 Year Regional Contamination Investigation Program within the dataset buffer:

| Property ID | Base Name | Address | Known Contamination | Loc Conf | Dist | Dir |
|-------------|----------------------|---------|---------------------|----------|------|-----|
| N/A | No records in buffer | | | | | |

Defence 3 Year Regional Contamination Investigation Program, Data Custodian: Department of Defence, Australian Government

EPA Other Sites with Contamination Issues

7a-11 Racecourse Road and 32-50 Young Street, West Gosford, NSW 2250

EPA Other Sites with Contamination Issues

This dataset contains other sites identified on the EPA website as having contamination issues. This dataset currently includes:

- James Hardie asbestos manufacturing and waste disposal sites
- Radiological investigation sites in Hunter's Hill
- Pasminco Lead Abatement Strategy Area

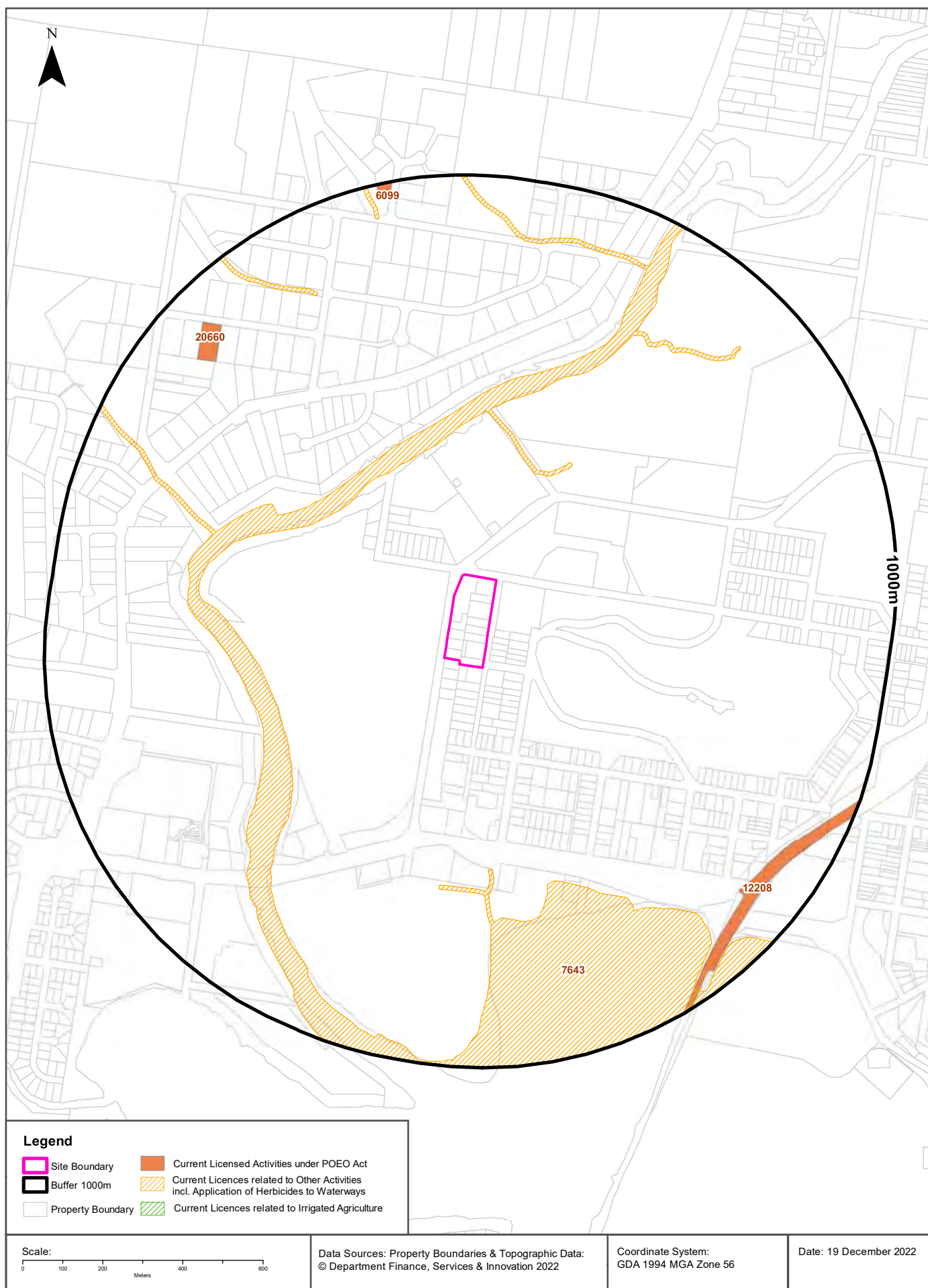
Sites within the dataset buffer:

| Site Id | Site Name | Site Address | Dataset | Comments | Location Confidence | Distance | Direction |
|---------|----------------------|--------------|---------|----------|---------------------|----------|-----------|
| N/A | No records in buffer | | | | | | |

EPA Other Sites with Contamination Issues: Environment Protection Authority
© State of New South Wales through the Environment Protection Authority

Current EPA Licensed Activities

7a-11 Racecourse Road and 32-50 Young Street, West Gosford, NSW 2250



EPA Activities

7a-11 Racecourse Road and 32-50 Young Street, West Gosford, NSW 2250

Licensed Activities under the POEO Act 1997

Licensed activities under the Protection of the Environment Operations Act 1997, within the dataset buffer:

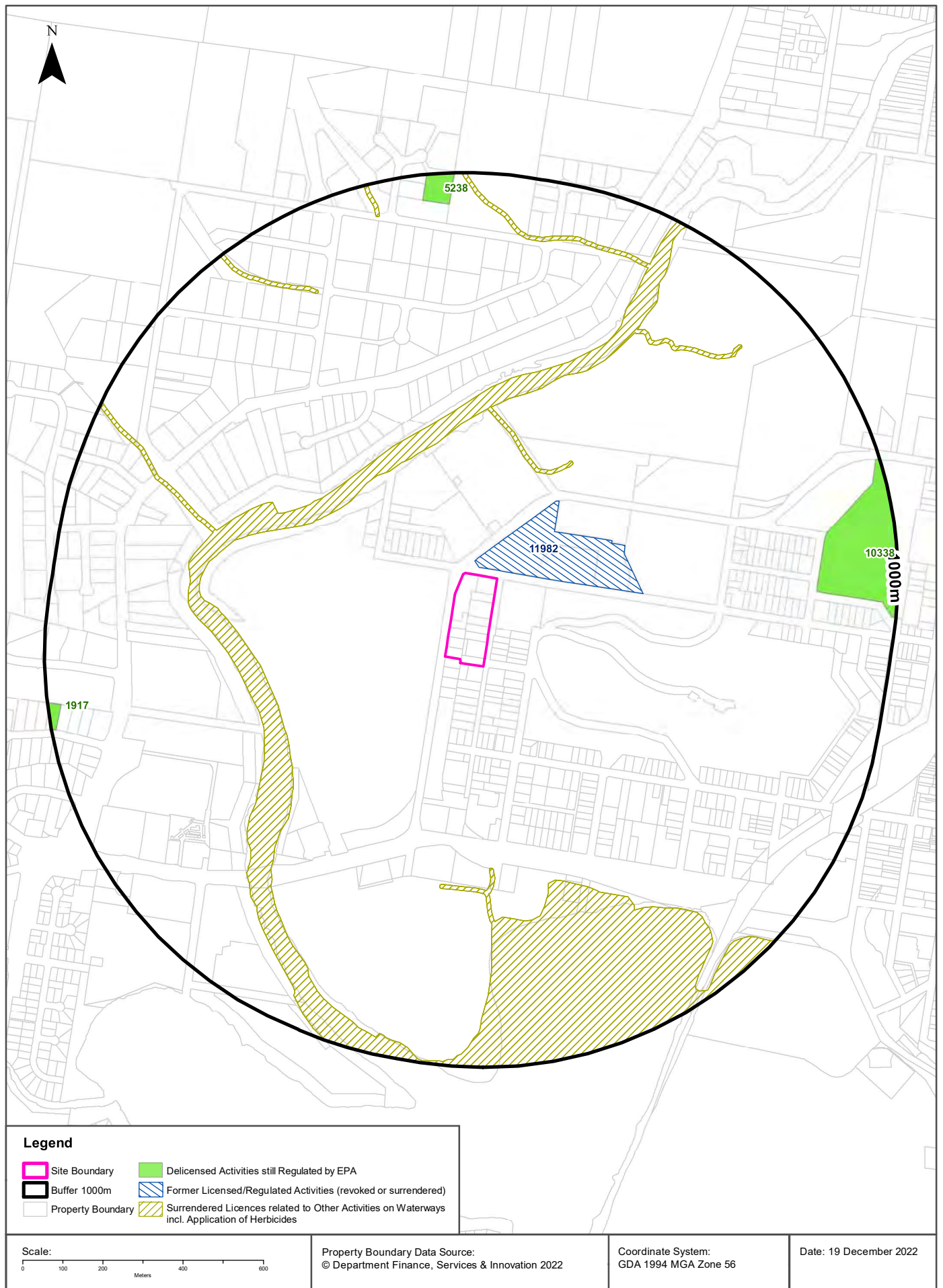
| EPL | Organisation | Name | Address | Suburb | Activity | Loc Conf | Distance | Direction |
|-------|-------------------------------------|---|--|------------------------|--|---------------------|----------|------------|
| 7643 | Central Coast Council | THE WATERS WITHIN THE CENTRAL COAST LOCAL GOVERNMENT AREA | MULTIPLE WATERWAYS, CENTRAL COAST MC, NSW 2252 | GOSFORD | Other activities | Network of Features | 283m | South |
| 20660 | VEOLIA RECYCLING & RECOVERY PTY LTD | | 12 Gibbens Road | WEST GOSFORD, NSW 2250 | Waste storage - other types of waste; Recovery of general waste | Premise Match | 818m | North West |
| 12208 | SYDNEY TRAINS | | SYDNEY TRAINS, HAYMARKET, NSW 1238 | | Railway systems activities | Network of Features | 850m | South East |
| 6099 | SOUTHERN OIL COLLECTION PTY LTD | SOUTHERN OIL COLLECTION PTY LTD | 1 DAINTREE PLACE | GOSFORD WEST | Non-thermal treatment of hazardous and other waste | Premise Match | 963m | North |
| 6099 | SOUTHERN OIL COLLECTION PTY LTD | SOUTHERN OIL COLLECTION PTY LTD | 1 DAINTREE PLACE | GOSFORD WEST | Waste storage - hazardous, restricted solid, liquid, clinical and related waste and asbestos waste | Premise Match | 963m | North |

POEO Licence Data Source: Environment Protection Authority

© State of New South Wales through the Environment Protection Authority

Delicensed & Former Licensed EPA Activities

7a-11 Racecourse Road and 32-50 Young Street, West Gosford, NSW 2250



EPA Activities

7a-11 Racecourse Road and 32-50 Young Street, West Gosford, NSW 2250

Delicensed Activities still regulated by the EPA

Delicensed activities still regulated by the EPA, within the dataset buffer:

| Licence No | Organisation | Name | Address | Suburb | Activity | Loc Conf | Distance | Direction |
|------------|---|-------------------------------------|--------------------|--------------|--|---------------|----------|-----------|
| 10338 | NORTHERN SYDNEY AND CENTRAL COAST AREA HEALTH SERVICE | GOSFORD HOSPITAL | HOLDEN STREET | GOSFORD | Hazardous, Industrial or Group A Waste Generation or Storage | Premise Match | 796m | East |
| 5238 | EARBURN PTY. LIMITED | COASTWIDE READYMIX CONCRETE | 4 APOLLO CLOSE | WEST GOSFORD | Concrete works | Premise Match | 923m | North |
| 1917 | BORAL RESOURCES (COUNTRY) PTY. LIMITED | BORAL COUNTRY - CONCRETE & QUARRIES | LOT 9 GRIEVE CLOSE | GOSFORD WEST | Concrete works | Premise Match | 966m | West |

Delicensed Activities Data Source: Environment Protection Authority
© State of New South Wales through the Environment Protection Authority

Former Licensed Activities under the POEO Act 1997, now revoked or surrendered

Former Licensed activities under the Protection of the Environment Operations Act 1997, now revoked or surrendered, within the dataset buffer:

| Licence No | Organisation | Location | Status | Issued Date | Activity | Loc Conf | Distance | Direction |
|------------|---|--|-------------|-------------|--|---------------------|----------|------------|
| 11982 | AUSGRID | Ausgrid West Gosford Depot, Cnr Faunce Street & Racecourse Road, GOSFORD | Surrendered | 18/08/2004 | Waste storage - hazardous, restricted solid, liquid, clinical and related waste and asbestos waste | Premise Match | 20m | North East |
| 4653 | LUHRMANN ENVIRONMENT MANAGEMENT PTY LTD | WATERWAYS THROUGHOUT NSW | Surrendered | 06/09/2000 | Other Activities / Non Scheduled Activity - Application of Herbicides | Network of Features | 283m | South |
| 4838 | Robert Orchard | Various Waterways throughout New South Wales - SYDNEY NSW 2000 | Surrendered | 07/09/2000 | Other Activities / Non Scheduled Activity - Application of Herbicides | Network of Features | 283m | South |
| 6630 | SYDNEY WEED & PEST MANAGEMENT PTY LTD | WATERWAYS THROUGHOUT NSW - PROSPECT, NSW, 2148 | Surrendered | 09/11/2000 | Other Activities / Non Scheduled Activity - Application of Herbicides | Network of Features | 283m | South |

Former Licensed Activities Data Source: Environment Protection Authority
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Historical Business Directories

7a-11 Racecourse Road and 32-50 Young Street, West Gosford, NSW 2250



Historical Business Directories

7a-11 Racecourse Road and 32-50 Young Street, West Gosford, NSW 2250

Business Directory Records 1950-1982 Premise or Road Intersection Matches

Universal Business Directory records from years 1982, 1970, 1961 & 1950, mapped to a premise or road intersection within the dataset buffer:

| Map Id | Business Activity | Premise | Ref No. | Year | Location Confidence | Distance to Property Boundary or Road Intersection | Direction |
|--------|---|---|---------|------|---------------------|--|------------|
| 1 | POTATO CRISP MFRS. &/OR MERCHANTS | Central Coast Potato Chips Pty. Ltd., 35 Young St., West Gosford 2250 | 125056 | 1982 | Premise Match | 13m | South East |
| | MOTOR GARAGES &/OR ENGINEERS &/ OR SERVICE STATIONS | K.T. Motors., 33 Young St., West Gosford 2250 | 124780 | 1982 | Premise Match | 13m | South East |
| | FRUIT JUICE PROCESSORS | Strength Fruit Juices., 33 Young St., West Gosford 2250 | 124162 | 1982 | Premise Match | 13m | South East |
| 2 | HAULAGE CONTRACTORS | R.N. Robson Gosford Pty. Ltd. Cnr. Faunce & Narara Sts. West Gosford | 203496 | 1961 | Road Intersection | 18m | North |
| | ROAD MAKING CONTRACTORS | Robson, R. M. (Gosford) Pty. Ltd., Cnr. Faunce & Marara St., West Gosford | 204275 | 1961 | Road Intersection | 18m | North |
| | EARTH MOVING & ROAD MAKING CONTRACTORS | Robson, R. N. (Gosford) Pty. Ltd., Cnr. Faunce & Narara St., West Gosford | 203561 | 1961 | Road Intersection | 18m | North |
| | HAULAGE CONTRACTORS | Robson, R. N. (Gosford) Pty. Ltd., Cnr. Faunce & Narara St., West Gosford | 203796 | 1961 | Road Intersection | 18m | North |
| 3 | HIRING SERVICES | Gosford Hire & Sales Centre Pty. Lt., 18 Faunce St., West Gosford 2250 | 124364 | 1982 | Premise Match | 32m | North |
| | HIRING SERVICES | Gosford Hire & Sales Centre Pty. Ltd. Cnr. 18 Faunce Street & Racecourse Road., West Gosford 2250 | 124360 | 1982 | Premise Match | 32m | North |
| | AIR COMPRESSORS &/OR EQUIPMENT MFRS. &/ OR DIST. | Gosford Hire & Sales Centre Pty. Ltd., 18 Faunce St., West Gosford 2250 | 123444 | 1982 | Premise Match | 32m | North |
| | BUILDERS EQUIPMENT HIRERS | Gosford Hire & Sales Centre Pty. Ltd., 18 Faunce St., West Gosford 2250 | 123674 | 1982 | Premise Match | 32m | North |
| | PLANT HIRERS | Gosford Hire & Sales Centre Pty. Ltd., 18 Faunce St., West Gosford 2250 | 125028 | 1982 | Premise Match | 32m | North |
| 4 | ELECTRONIC EQUIPMENT MFRS. &/ OR DIST. | Joes., 31 Young St., West Gosford 2250 | 124047 | 1982 | Premise Match | 43m | South |
| 5 | CARRIERS &/OR CARTAGE CONTRACTORS | Bradbury & Fuller., 40 Hely St., West Gosford 2250 | 123759 | 1982 | Premise Match | 55m | South East |
| | EARTH MOVING &/OR ROADMAKING CONTRACTORS. | Bradbury & Fuller., 40 Hely St., West Gosford 2250 | 123999 | 1982 | Premise Match | 55m | South East |
| 6 | MOTOR PANEL BEATERS &/OR PAINTERS SUPPLIES | Godfrey, Basil & Sons., Rear 28 Young St., West Gosford 2250 | 124846 | 1982 | Premise Match | 61m | South |
| 7 | CATERERS | Summerell, C. & N., 16 Faunce St., Gosford | 203475 | 1961 | Premise Match | 65m | North West |
| 8 | JOINERY MANUFACTURERS | Young, R. P. (Joinery Work), 27 Young St., Gosford | 203875 | 1961 | Premise Match | 72m | South |
| 9 | BAKERS & PASTRYCOOKS EQUIPMENT MFRS. &/OR DIST. | Bakers Machinery Co. Pty. Ltd., 24 Young St., West Gosford 2250 | 123543 | 1982 | Premise Match | 101m | South |
| | TANK &/OR TANKSTAND MFRS. &/OR DIST. | Dicker & Ferguson Pty. Ltd., 22 Young St., West Gosford 2250 | 125393 | 1982 | Premise Match | 101m | South |
| | PLUMBERS, GASFITTERS &/ OR DRAINLAYERS. | Dicker & Ferguson Pty. Ltd., 22 Young St., West Gosford 2250 | 125040 | 1982 | Premise Match | 101m | South |
| | SHEET METAL WORKERS | Dicker & Ferguson Pty. Ltd., 22 Young St., West Gosford 2250 | 125248 | 1982 | Premise Match | 101m | South |
| | PLUMBERS, GASFITTERS & DRAINLAYERS | Dicker & Ferguson, 22 Young St., West Gosford | 538780 | 1970 | Premise Match | 101m | South |

| Map Id | Business Activity | Premise | Ref No. | Year | Location Confidence | Distance to Property Boundary or Road Intersection | Direction |
|--------|---|--|---------|------|---------------------|--|------------|
| 9 | SHEET METAL WORKERS | Dicker & Ferguson, 22 Young St., West Gosford | 538884 | 1970 | Premise Match | 101m | South |
| | TANK &/OR TANK STAND MFRS. &/OR SUPPLIERS | Dicker & Ferguson, 22 Young St., West Gosford | 538952 | 1970 | Premise Match | 101m | South |
| | SHEET METAL WORKERS | Dicker, Wal & Ferguson, Col., 22 Young St., West Gosford | 204309 | 1961 | Premise Match | 101m | South |
| | TANK MANUFACTURERS | Dicker, Wal & Ferguson, Col., 22 Young St., West Gosford | 204378 | 1961 | Premise Match | 101m | South |
| | PLUMBERS, GASFITTERS & DRAINLAYERS | Dicker, Wal. & Ferguson Col., 22 Young St., West Gosford | 204184 | 1961 | Premise Match | 101m | South |
| 10 | EARTH MOVING &/OR ROAD MAKING CONTRACTORS | Bradley Sealing Services, 3 Blackett St. Gosford 2250 | 538167 | 1970 | Premise Match | 102m | North West |
| 11 | GLASS MERCHANTS &/OR GLAZIERS | Law, J. Joinery, 26 Hely St., West Gosford 2250 | 124239 | 1982 | Premise Match | 129m | South |
| | FURNITURE - KITCHEN UNITS &/OR CABINETS MFRS. &/OR W/SALERS | Law, J. Joinery., 26 Hely St., West Gosford 2250 | 124203 | 1982 | Premise Match | 129m | South |
| | JOINERY MANUFACTURERS | Law, J. Joinery., 26 Hely St., West Gosford 2250 | 124469 | 1982 | Premise Match | 129m | South |
| | SHOP &/OR OFFICE FITTERS | Law, J. Joinery., 26 Hely St., West Gosford 2250 | 125257 | 1982 | Premise Match | 129m | South |

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Business Directory Records 1950-1982

Road or Area Matches

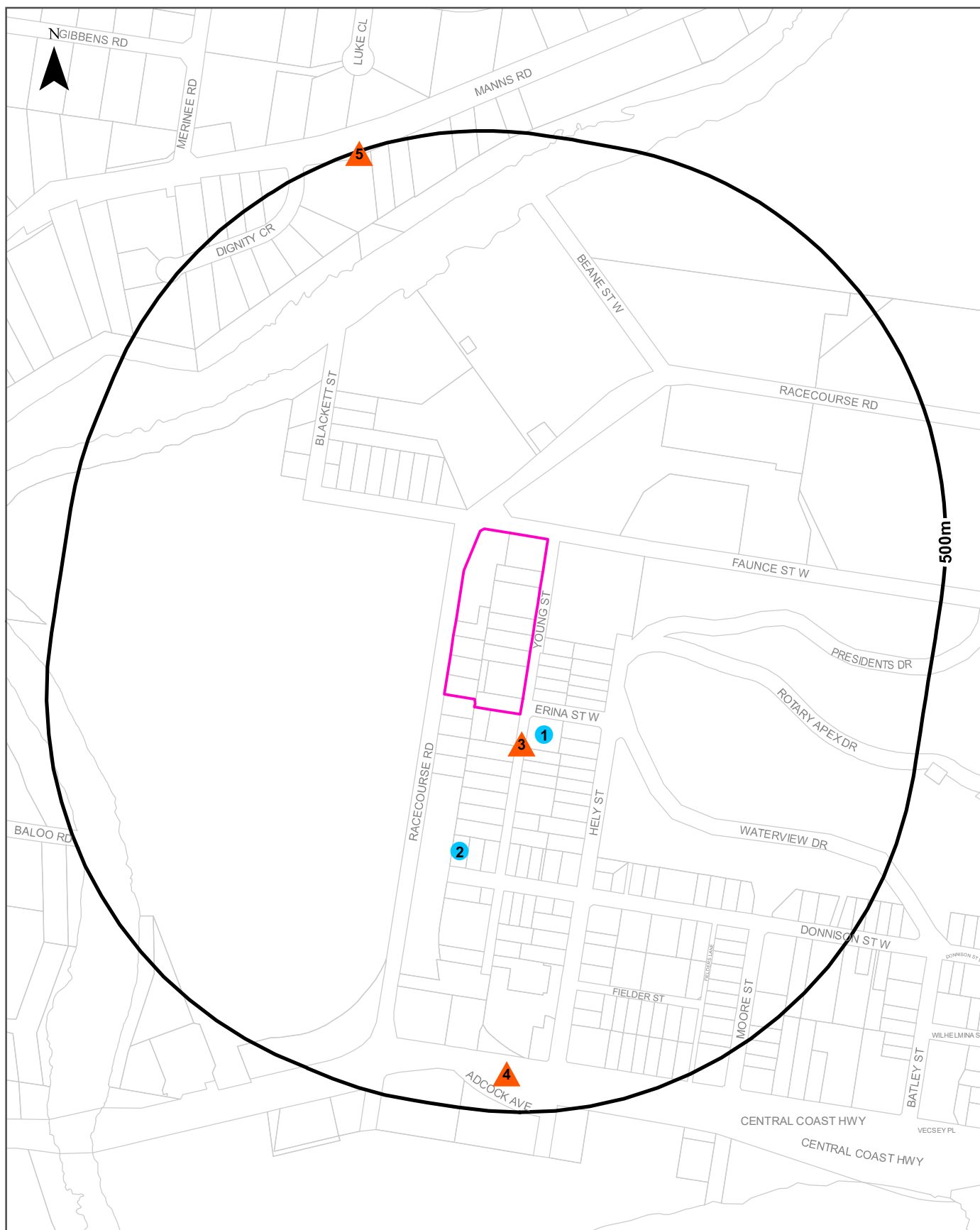
Universal Business Directory records from years 1982, 1970, 1961 & 1950, mapped to a road or an area, within the dataset buffer. Records are mapped to the road when a building number is not supplied, cannot be found, or the road has been renumbered since the directory was published:

| Map Id | Business Activity | Premise | Ref No. | Year | Location Confidence | Distance to Road Corridor or Area |
|--------|--|--|---------|------|---------------------|-----------------------------------|
| 12 | MOTOR ACCESSORIES &/ OR SPARE PARTS-RETAIL | Basil Godfrey & Sons Pty. Ltd., Young St., West Gosford 2250 | 124638 | 1982 | Road Match | 0m |
| | SHEET METAL WORKERS | Brisbane Water Industrial Products., Young St., West Gosford 2250 | 125247 | 1982 | Road Match | 0m |
| | MOTOR GARAGES &/OR ENGINEERS &/ OR SERVICE STATIONS | Compton, E. & S., Young St., West Gosford 2250 | 124760 | 1982 | Road Match | 0m |
| | BRICK MFRS. &/OR DISTS | Gosford Brick Tile & Pipe Pty. Ltd., Young St., West Gosford 2250 | 123639 | 1982 | Road Match | 0m |
| | MOTOR GARAGES &/OR ENGINEERS &/ OR SERVICE STATIONS | J.C. Auto Repairs., Young St., West Gosford 2250 | 124779 | 1982 | Road Match | 0m |
| | FRUITERERS & GREENGROCERS | Housewives' Economy Market, Erina Lane, Gosford | 203691 | 1961 | Road Match | 0m |
| | JOINERY MANUFACTURERS | Berry, A. H. and Son, Narara Lane, Gosford | 184460 | 1950 | Road Match | 0m |
| | BUILDERS & BUILDING CONTRACTORS | Young, R. G. Narara Lane, Gosford | 184196 | 1950 | Road Match | 0m |
| 13 | SCHOOLS, COLLEGES - TECHNICAL | Junior Technical High School., Faunce St., West Gosford 2250 | 125227 | 1982 | Road Match | 0m |
| | SCHOOLS & COLLEGES- TECHNICAL | Junior Technical High School, Faunce St., West Gosford | 538872 | 1970 | Road Match | 0m |
| 14 | RADIO &/ OR TELEVISION COMPONENT PARTS MFRS. &/ OR DISTS | Hansen, A. Furniture Pty. Ltd., 1 Erina St., West Gosford 2250 | 125096 | 1982 | Road Match | 13m |
| 15 | ALUMINIUM WINDOW FRAME MFRS. &/OR DISTS. | Law, J. Joinery, Hely St., West Gosford | 537850 | 1970 | Road Match | 104m |
| | GLASS MERCHANTS &/OR GLAZIERS | Law, J. Joinery, Hely St., West Gosford | 538325 | 1970 | Road Match | 104m |
| | JOINERY MANUFACTURERS | Law, J. Joinery, Hely St., West Gosford | 538457 | 1970 | Road Match | 104m |
| | FRUITERERS & GREENGROCERS | Bradbury, W. T., Hely St., Gosford | 184353 | 1950 | Road Match | 104m |
| | AGRICULTURAL MACHINERY DEALERS &/OR SERVICEMEN | Jeffs Manufacturing & Trading Co. Pty. Ltd. Hely St., West Gosford | 184130 | 1950 | Road Match | 104m |
| | MOTOR OIL & SPIRIT MERCHANTS | Jeff's Manufacturing and Trading Co. Pty. Ltd. (Agents, Atlantic Union), Hely St., Gosford | 184553 | 1950 | Road Match | 104m |
| | INSURANCE AGENTS | Jeff's Manufacturing and Trading Co. Pty. Ltd. (Agents, Scottish Insurance), Hely St., Gosford | 184439 | 1950 | Road Match | 104m |
| | AGRICULTURAL MACHINERY DEALERS &/OR SERVICEMEN | Jeff's Manufacturing and Trading Co. Pty. Ltd. (Mitchell-Shearer), Hely St., Gosford | 184135 | 1950 | Road Match | 104m |
| | INSECTICIDE MANUFACTURERS | Jeff's Manufacturing and Trading Co. Pty. Ltd., Hely St., Gosford | 184427 | 1950 | Road Match | 104m |
| | SOAP MANUFACTURERS | Jeff's Manufacturing and Trading Co. Pty. Ltd., Hely St., Gosford | 184662 | 1950 | Road Match | 104m |

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Dry Cleaners, Motor Garages & Service Stations

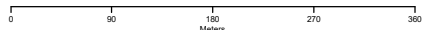
7a-11 Racecourse Road and 32-50 Young Street, West Gosford, NSW 2250



Legend

- Site Boundary
- Buffer 500m
- Property Boundary
- Business directory records mapped to a specific premise
- Business directory records mapped to a road intersection
- ▲ Business directory records mapped to a road corridor
- Business directory records mapped to a general area

Scale:



Coordinate System:
GDA 1994 MGA Zone 56

Date: 19 December 2022

Data Sources: Reproduced with permission of UBD and Hardie Grant Media Pty Ltd DD 01/08/2018

Historical Business Directories

7a-11 Racecourse Road and 32-50 Young Street, West Gosford, NSW 2250

Dry Cleaners, Motor Garages & Service Stations Premise or Road Intersection Matches

Dry Cleaners, Motor Garages & Service Stations from UBD Business Directories, mapped to a premise or road intersection, within the dataset buffer.

| Map Id | Business Activity | Premise | Ref No. | Year | Location Confidence | Distance to Property Boundary or Road Intersection | Direction |
|--------|--|--|---------|------|---------------------|--|------------|
| 1 | MOTOR GARAGES &/OR ENGINEERS &/OR SERVICE STATIONS | K.T. Motors., 33 Young St., West Gosford 2250 | 124780 | 1982 | Premise Match | 13m | South East |
| 2 | MOTOR GARAGES &/OR ENGINEERS &/OR SERVICE STATIONS | Cocks, B. Truck & Car Repairs., 2 Donnison St., West Gosford 2250 | 124758 | 1982 | Premise Match | 162m | South |
| | MOTOR GARAGES &/OR ENGINEERS &/OR SERVICE STATIONS | Ellis, David J. Truck & Auto Repairs., 2 Donnison St., West Gosford 2250 | 124764 | 1982 | Premise Match | 162m | South |

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Dry Cleaners, Motor Garages & Service Stations Road or Area Matches

Dry Cleaners, Motor Garages & Service Stations from UBD Business Directories, mapped to a road or an area, within the dataset buffer. Records are mapped to the road when a building number is not supplied, cannot be found, or the road has been renumbered since the directory was published.

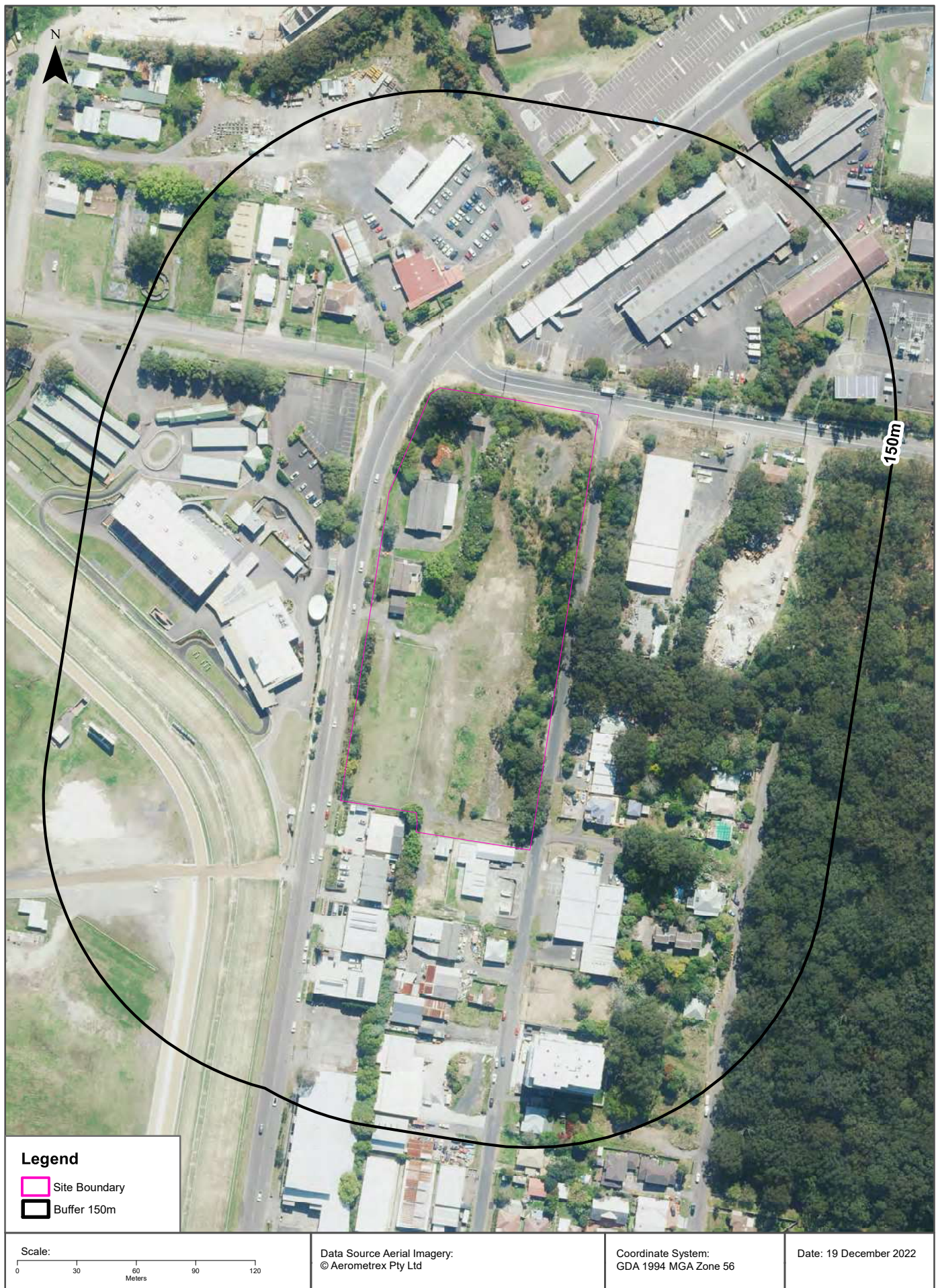
| Map Id | Business Activity | Premise | Ref No. | Year | Location Confidence | Distance to Road Corridor or Area |
|--------|---|--|---------|------|---------------------|-----------------------------------|
| 3 | MOTOR GARAGES &/OR ENGINEERS &/ OR SERVICE STATIONS | Compton, E. & S., Young St., West Gosford 2250 | 124760 | 1982 | Road Match | 0m |
| | MOTOR GARAGES &/OR ENGINEERS &/ OR SERVICE STATIONS | J.C. Auto Repairs., Young St., West Gosford 2250 | 124779 | 1982 | Road Match | 0m |
| 4 | MOTOR GARAGES &/OR ENGINEERS &/ OR SERVICE STATIONS | BP West Gosford Service Station Pacific Highway., West Gosford 2250 | 124750 | 1982 | Road Match | 425m |
| | MOTOR GARAGES &/OR ENGINEERS &/ OR SERVICE STATIONS | Esso Servicentre., Pacific Highway., West Gosford 2250 | 124770 | 1982 | Road Match | 425m |
| | MOTOR GARAGES &/OR ENGINEERS &/ OR SERVICE STATIONS | Golden Fleece Service Station., Pacific Highway., West Gosford 2250 | 124771 | 1982 | Road Match | 425m |
| | MOTOR GARAGES &/OR ENGINEERS &/ OR SERVICE STATIONS | Gosford Auto Chef., Pacific Highway., West Gosford 2250 | 124773 | 1982 | Road Match | 425m |
| | MOTOR GARAGES &/OR ENGINEERS &/ OR SERVICE STATIONS | Grawill Motors Gosford Pty. Ltd., Pacific Highway., West Gosford 2250 | 124776 | 1982 | Road Match | 425m |
| | MOTOR GARAGES &/OR ENGINEERS &/ OR SERVICE STATIONS | Lakeview Service Station., 37 Pacific Highway., West Gosford 2250 | 124781 | 1982 | Road Match | 425m |
| | MOTOR GARAGES &/OR ENGINEERS &/ OR SERVICE STATIONS | Mackenzie, K., 27 Pacific Highway., West Gosford 2250 | 124783 | 1982 | Road Match | 425m |
| | MOTOR GARAGES &/OR ENGINEERS &/ OR SERVICE STATIONS | Noble Motors., Pacific Highway., West Gosford 2250 | 124786 | 1982 | Road Match | 425m |
| | MOTOR GARAGES & ENGINEERS | Advanx Motors, Pacific Hghwy., West Gosford | 538627 | 1970 | Road Match | 425m |
| | MOTOR SERVICE STATIONS-PETROL, OILS, Etc. | Atlantic Service Station, 1a Pacific Hghwy., West Gosford | 538680 | 1970 | Road Match | 425m |
| | MOTOR SERVICE STATIONS-PETROL, OILS, Etc. | BP Orange Grove Service Station, Pacific Hghwy., West Gosford | 538681 | 1970 | Road Match | 425m |
| | MOTOR GARAGES & ENGINEERS | Esso Servicenter, Pacific Hghwy., West Gosford | 538637 | 1970 | Road Match | 425m |
| | MOTOR SERVICE STATIONS-PETROL, OILS, Etc. | Esso Servicenter, Pacific Hghwy., West Gosford | 538682 | 1970 | Road Match | 425m |
| | MOTOR GARAGES & ENGINEERS | Golden Fleece Service Station, Pacific Hghwy., West Gosford | 538639 | 1970 | Road Match | 425m |
| | MOTOR SERVICE STATIONS-PETROL, OILS, Etc. | Gosford Auto Chef, Pacific Hghwy., West Gosford | 538686 | 1970 | Road Match | 425m |
| | MOTOR SERVICE STATIONS-PETROL, OILS, Etc. | Lakeview Service Station, Pacific Hghwy. West Gosford | 538688 | 1970 | Road Match | 425m |
| | MOTOR GARAGES & ENGINEERS | Lakeview Service Station, Pacific Hghwy., West Gosford | 538645 | 1970 | Road Match | 425m |
| | MOTOR GARAGES & ENGINEERS | Noble, S. H. Pty. Ltd., Pacific Hghwy., West Gosford | 538648 | 1970 | Road Match | 425m |
| | MOTOR SERVICE STATIONS-PETROL, OIL, Etc. | Golden Fleece Service Station and Café, Pacific Highway., West Gosford | 204082 | 1961 | Road Match | 425m |

| Map Id | Business Activity | Premise | Ref No. | Year | Location Confidence | Distance to Road Corridor or Area |
|--------|---|---|---------|------|---------------------|-----------------------------------|
| 4 | MOTOR SERVICE STATIONS-PETROL, OIL, Etc. | Gosford Auto Chef, Pacific Highway., West Gosford | 204080 | 1961 | Road Match | 425m |
| | MOTOR SERVICE STATIONS-PETROL, OIL, Etc. | Lakeview Service Station, Pacific Highway. West, Gosford | 204085 | 1961 | Road Match | 425m |
| | MOTOR SERVICE STATIONS-PETROL, OIL, Etc. | Orange Grove Service Station Pacific Highway West Gosford | 204051 | 1961 | Road Match | 425m |
| | MOTOR GARAGES & ENGINEERS | Sungold Motors, Pacific Highway., Gosford | 204048 | 1961 | Road Match | 425m |
| | MOTOR GARAGES & ENGINEERS | Sungold Motors, Pacific Highway., West Gosford | 204047 | 1961 | Road Match | 425m |
| | MOTOR GARAGES & ENGINEERS | Snelling Motors Pty. Ltd., Pacific Highway., Gosford | 184545 | 1950 | Road Match | 425m |
| | MOTOR GARAGES & ENGINEERS | Sungold Motors, Pacific Highway., West Gosford | 184548 | 1950 | Road Match | 425m |
| 5 | MOTOR GARAGES &/OR ENGINEERS &/ OR SERVICE STATIONS | Redgate, Bill Auto Centre., Manns Rd., West Gosford 2250 | 124792 | 1982 | Road Match | 494m |

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Aerial Imagery 2022

7a-11 Racecourse Road and 32-50 Young Street, West Gosford, NSW 2250



Aerial Imagery 2016

7a-11 Racecourse Road and 32-50 Young Street, West Gosford, NSW 2250



Aerial Imagery 2010

7a-11 Racecourse Road and 32-50 Young Street, West Gosford, NSW 2250



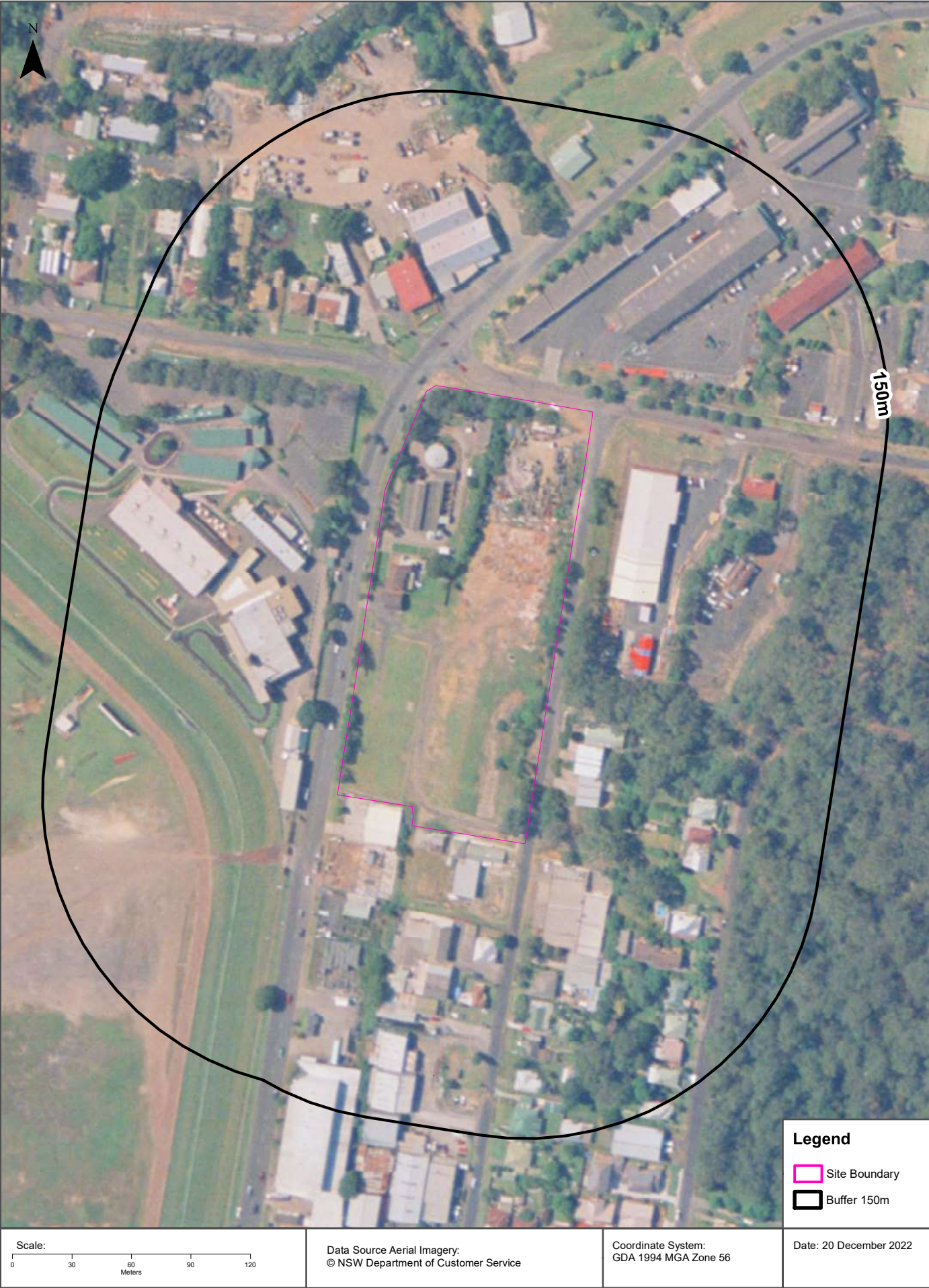
Data Source Aerial Imagery:
© Aerometrex Pty Ltd

Coordinate System:
GDA 1994 MGA Zone 56

Date: 19 December 2022

Aerial Imagery 2002

7a-11 Racecourse Road and 32-50 Young Street, West Gosford, NSW 2250



Aerial Imagery 1994

7a-11 Racecourse Road and 32-50 Young Street, West Gosford, NSW 2250



| | | | |
|------------------------------------|---|--|------------------------|
| Scale: 0 30 60 90 120 Meters | Data Source Aerial Imagery: © NSW Department of Customer Service | Coordinate System: GDA 1994 MGA Zone 56 | Date: 19 December 2022 |
|------------------------------------|---|--|------------------------|

Aerial Imagery 1991

7a-11 Racecourse Road and 32-50 Young Street, West Gosford, NSW 2250



Aerial Imagery 1982

7a-11 Racecourse Road and 32-50 Young Street, West Gosford, NSW 2250



Aerial Imagery 1976

7a-11 Racecourse Road and 32-50 Young Street, West Gosford, NSW 2250



| | | | |
|------------------------------------|---|--|------------------------|
| Scale: 0 30 60 90 120 Meters | Data Source Aerial Imagery: © NSW Department of Customer Service | Coordinate System: GDA 1994 MGA Zone 56 | Date: 19 December 2022 |
|------------------------------------|---|--|------------------------|

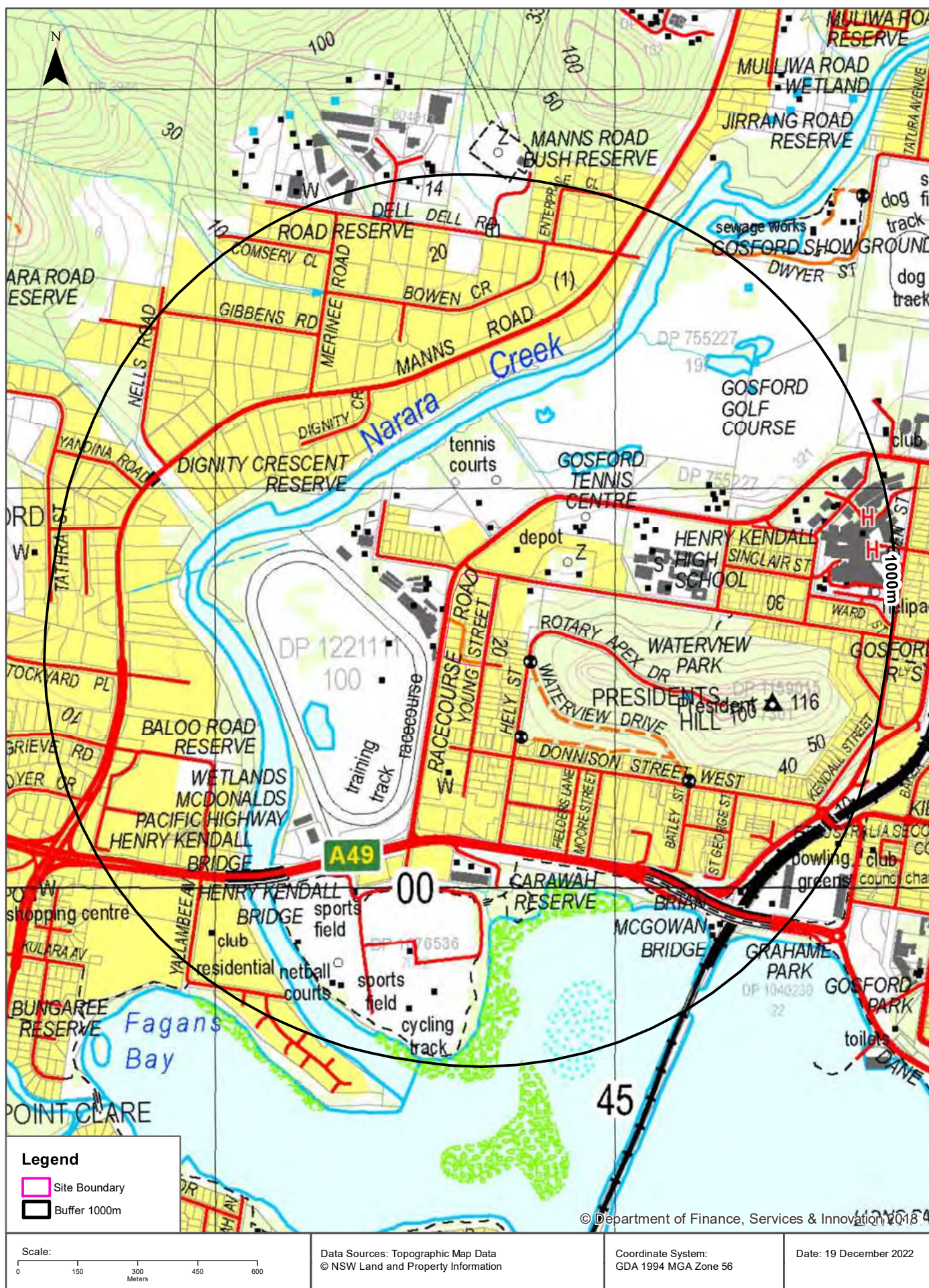
Aerial Imagery 1965

7a-11 Racecourse Road and 32-50 Young Street, West Gosford, NSW 2250



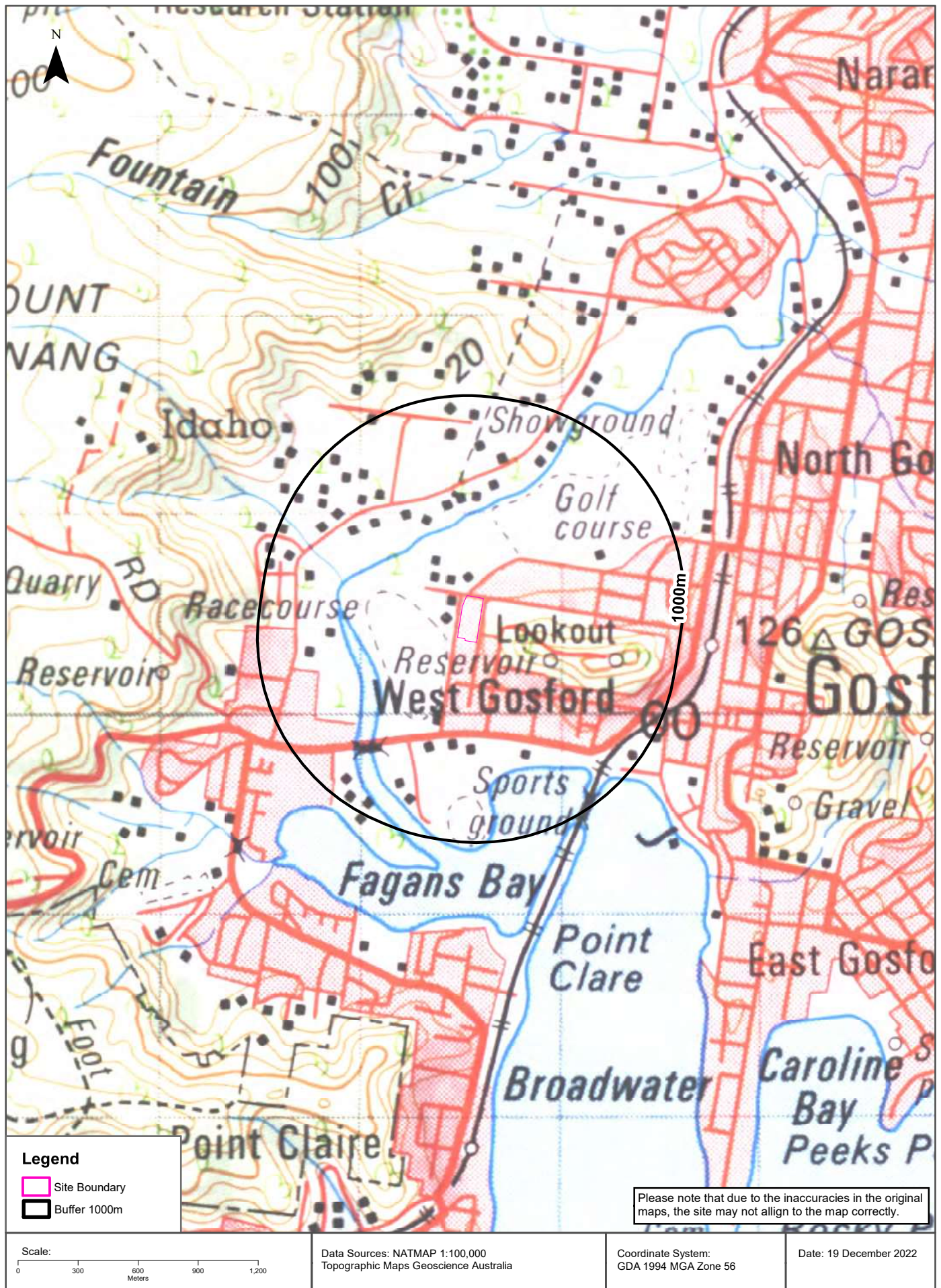
Topographic Map 2015

7a-11 Racecourse Road and 32-50 Young Street, West Gosford, NSW 2250



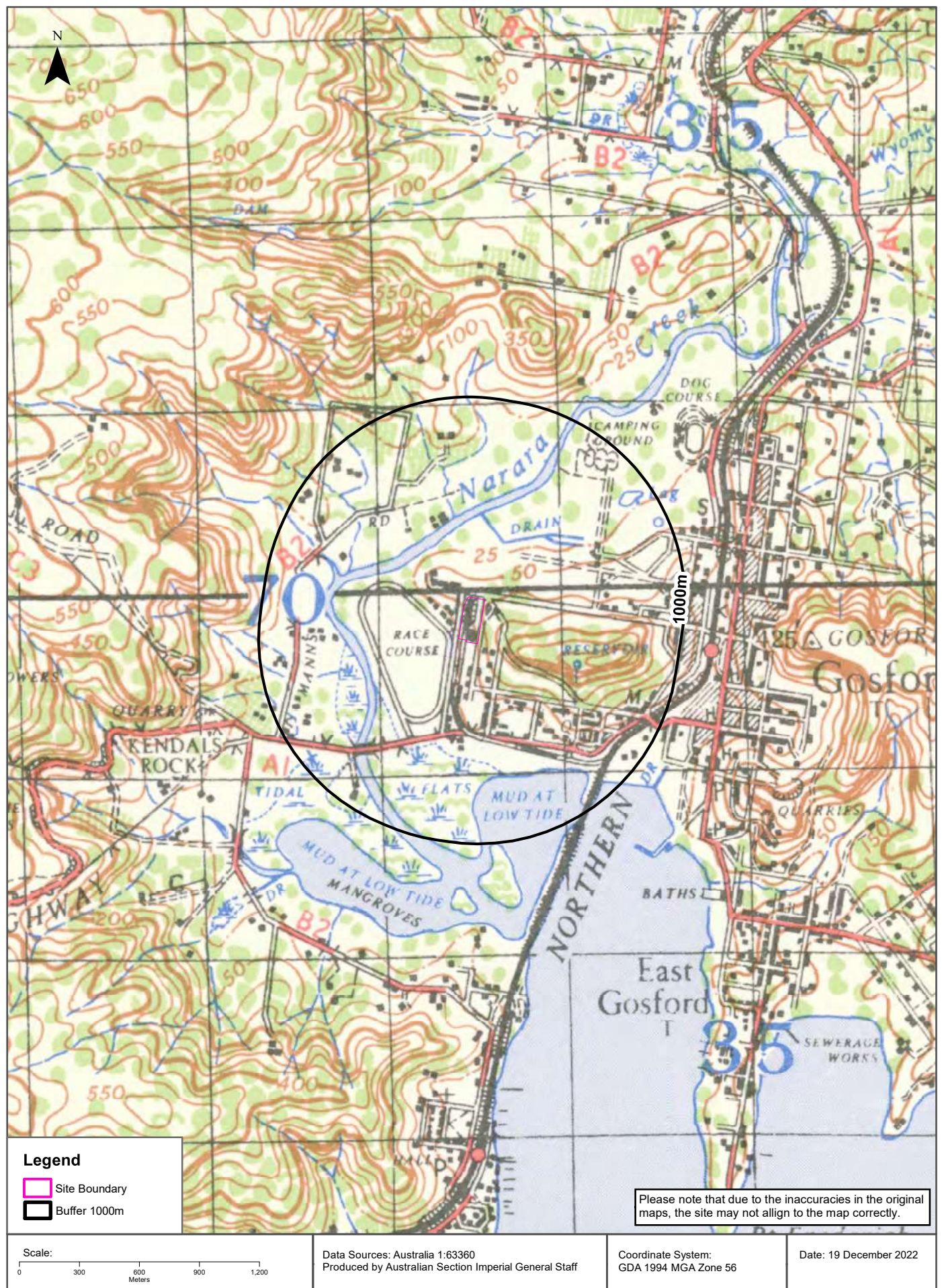
Historical Map 1975

7a-11 Racecourse Road and 32-50 Young Street, West Gosford, NSW 2250



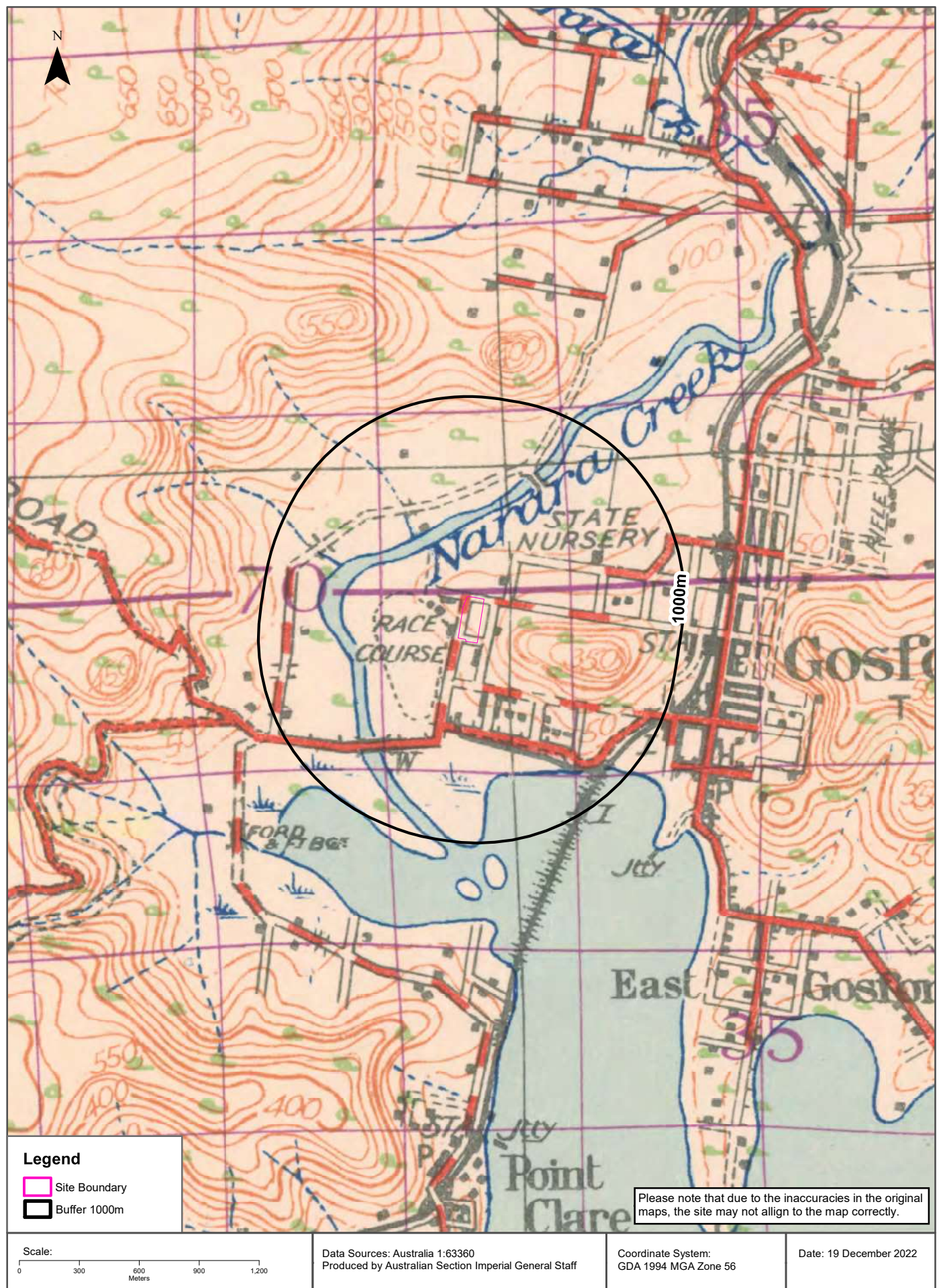
Historical Map c.1942

7a-11 Racecourse Road and 32-50 Young Street, West Gosford, NSW 2250



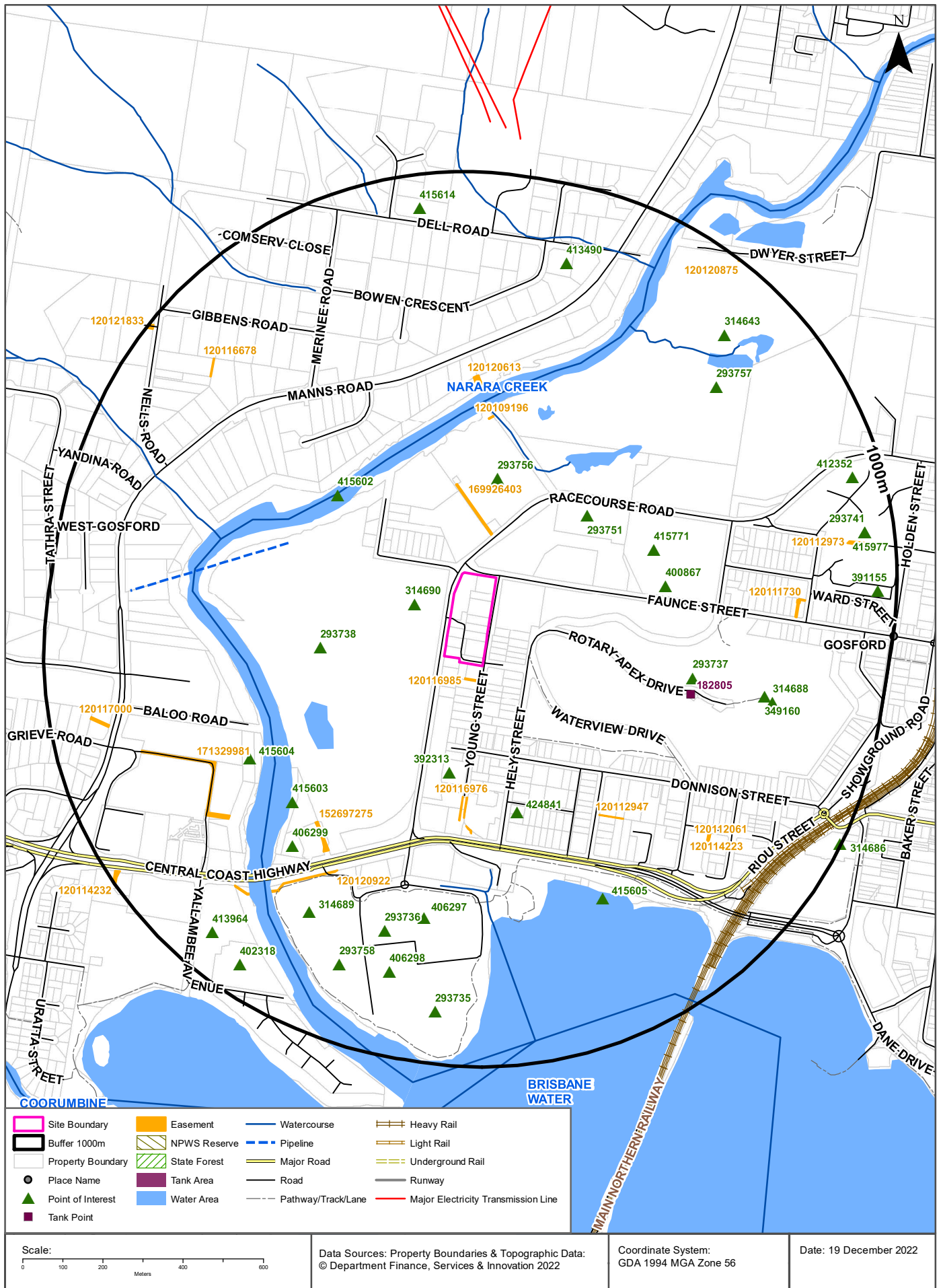
Historical Map c.1921

7a-11 Racecourse Road and 32-50 Young Street, West Gosford, NSW 2250



Topographic Features

7a-11 Racecourse Road and 32-50 Young Street, West Gosford, NSW 2250



Topographic Features

7a-11 Racecourse Road and 32-50 Young Street, West Gosford, NSW 2250

Points of Interest

What Points of Interest exist within the dataset buffer?

| Map Id | Feature Type | Label | Distance | Direction |
|--------|-----------------------------|--|----------|------------|
| 314690 | Community Facility | GOSFORD RACE CLUB | 94m | West |
| 293756 | Sports Court | TENNIS COURTS | 244m | North |
| 392313 | Place Of Worship | PRESBYTERIAN CHURCH | 275m | South |
| 293751 | Sports Court | GOSFORD TENNIS CENTRE | 275m | North East |
| 293738 | Racecourse | GOSFORD RACECOURSE | 310m | West |
| 415602 | Park | DIGNITY CRESCENT RESERVE | 368m | North West |
| 424841 | Park | HELY STREET PLAYGROUND | 375m | South |
| 415771 | Primary School | GOSFORD PUBLIC SCHOOL | 399m | East |
| 400867 | High School | HENRY KENDALL HIGH SCHOOL | 423m | East |
| 293737 | Park | WATERVIEW PARK | 523m | East |
| 415603 | Park | WETLANDS MCDONALDS PACIFIC HIGHWAY | 526m | South West |
| 415604 | Park | BALOO ROAD RESERVE | 549m | South West |
| 406299 | Child Care Centre | WEST GOSFORD EARLY EDUCATION CENTRE | 607m | South West |
| 406297 | Sports Field | Sports Field | 643m | South |
| 415605 | Park | CARAWAH RESERVE | 652m | South East |
| 293736 | Park | GARNET ADCOCK MEMORIALPARK | 695m | South |
| 349160 | Mountain Like | PRESIDENTS HILL | 707m | East |
| 314689 | Sports Field | Sports Field | 722m | South West |
| 293757 | Golf Course | GOSFORD GOLF COURSE | 727m | North East |
| 314688 | Lookout | PRESIDENTS HILL LOOKOUT | 729m | East |
| 406298 | Sports Field | Sports Field | 791m | South |
| 413490 | Heavy Vehicle Check Station | Heavy Vehicle Check Station | 804m | North |
| 293758 | Sports Court | NETBALL COURTS | 811m | South |
| 314643 | Park | VICTORIA PARK | 831m | North East |
| 293735 | Cycling Track | Cycling Track | 870m | South |
| 413964 | Club | GOSFORD RSL CLUB AND GALAXY MOTEL | 900m | South West |
| 415614 | Park | DELL ROAD RESERVE | 916m | North |
| 402318 | Nursing Home | YALLAMBEE LODGE | 923m | South West |
| 412352 | Community Medical Centre | GOSFORD HOSPITAL COMMUNITY HEALTH SERVICES | 924m | East |
| 415977 | General Hospital | CENTRAL COAST TRANSITIONAL CARE FACILITY | 926m | East |
| 293741 | General Hospital | GOSFORD HOSPITAL | 926m | East |

| Map Id | Feature Type | Label | Distance | Direction |
|--------|--------------------|---------------------------|----------|------------|
| 391155 | Helipad | Helipad | 953m | East |
| 314686 | Community Facility | GOSFORD CITY BOWLING CLUB | 996m | South East |

Topographic Data Source: © Land and Property Information (2015)

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Topographic Features

7a-11 Racecourse Road and 32-50 Young Street, West Gosford, NSW 2250

Tanks (Areas)

What are the Tank Areas located within the dataset buffer?

Note. The large majority of tank features provided by LPI are derived from aerial imagery & are therefore primarily above ground tanks.

| Map Id | Tank Type | Status | Name | Feature Currency | Distance | Direction |
|--------|----------------------|--------|------|------------------|----------|-----------|
| N/A | No records in buffer | | | | | |

Tanks (Points)

What are the Tank Points located within the dataset buffer?

Note. The large majority of tank features provided by LPI are derived from aerial imagery & are therefore primarily above ground tanks.

| Map Id | Tank Type | Status | Name | Feature Currency | Distance | Direction |
|--------|-----------|-------------|------|------------------|----------|-----------|
| 182805 | Water | Operational | | 21/07/2018 | 525m | East |

Tanks Data Source: © Land and Property Information (2015)

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Major Easements

What Major Easements exist within the dataset buffer?

Note. Easements provided by LPI are not at the detail of local governments. They are limited to major easements such as Right of Carriageway, Electrical Lines (66kVa etc.), Easement to drain water & Significant subterranean pipelines (gas, water etc.).

| Map Id | Easement Class | Easement Type | Easement Width | Distance | Direction |
|-----------|----------------|---------------|----------------|----------|------------|
| 120116985 | Primary | Undefined | | 37m | South |
| 169926403 | Primary | Right of way | 4 M | 103m | North |
| 120116976 | Primary | Undefined | | 330m | South |
| 120109196 | Primary | Undefined | | 388m | North |
| 120120613 | Primary | Undefined | | 457m | North |
| 120112947 | Primary | Undefined | | 472m | South East |
| 152697275 | Primary | Right of way | 6.29m and VAR | 519m | South West |
| 120120922 | Primary | Undefined | | 598m | South West |
| 171329981 | Primary | Right of way | | 629m | South West |
| 120114223 | Primary | Undefined | | 701m | South East |
| 120112061 | Primary | Undefined | | 705m | South East |
| 120111730 | Primary | Undefined | | 752m | East |
| 120116678 | Primary | Undefined | | 797m | North West |
| 120117000 | Primary | Undefined | | 854m | West |

| Map Id | Easement Class | Easement Type | Easement Width | Distance | Direction |
|-----------|----------------|---------------|----------------|----------|------------|
| 120112973 | Primary | Undefined | | 879m | East |
| 120114232 | Primary | Undefined | | 971m | South West |
| 120121833 | Primary | Undefined | | 984m | North West |
| 120120875 | Primary | Undefined | | 996m | North East |

Easements Data Source: © Land and Property Information (2015)

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Topographic Features

7a-11 Racecourse Road and 32-50 Young Street, West Gosford, NSW 2250

State Forest

What State Forest exist within the dataset buffer?

| State Forest Number | State Forest Name | Distance | Direction |
|---------------------|----------------------|----------|-----------|
| N/A | No records in buffer | | |

State Forest Data Source: © NSW Department of Finance, Services & Innovation (2018)

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National Parks and Wildlife Service Reserves

What NPWS Reserves exist within the dataset buffer?

| Reserve Number | Reserve Type | Reserve Name | Gazetted Date | Distance | Direction |
|----------------|----------------------|--------------|---------------|----------|-----------|
| N/A | No records in buffer | | | | |

NPWS Data Source: © NSW Department of Finance, Services & Innovation (2018)

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Elevation Contours (m AHD)

7a-11 Racecourse Road and 32-50 Young Street, West Gosford, NSW 2250



Hydrogeology & Groundwater

7a-11 Racecourse Road and 32-50 Young Street, West Gosford, NSW 2250

Hydrogeology

Description of aquifers within the dataset buffer:

| Description | Distance | Direction |
|--|----------|-----------|
| Porous, extensive aquifers of low to moderate productivity | 0m | On-site |

Hydrogeology Map of Australia : Commonwealth of Australia (Geoscience Australia)

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Temporary Water Restriction (Botany Sands Groundwater Source) Order 2018

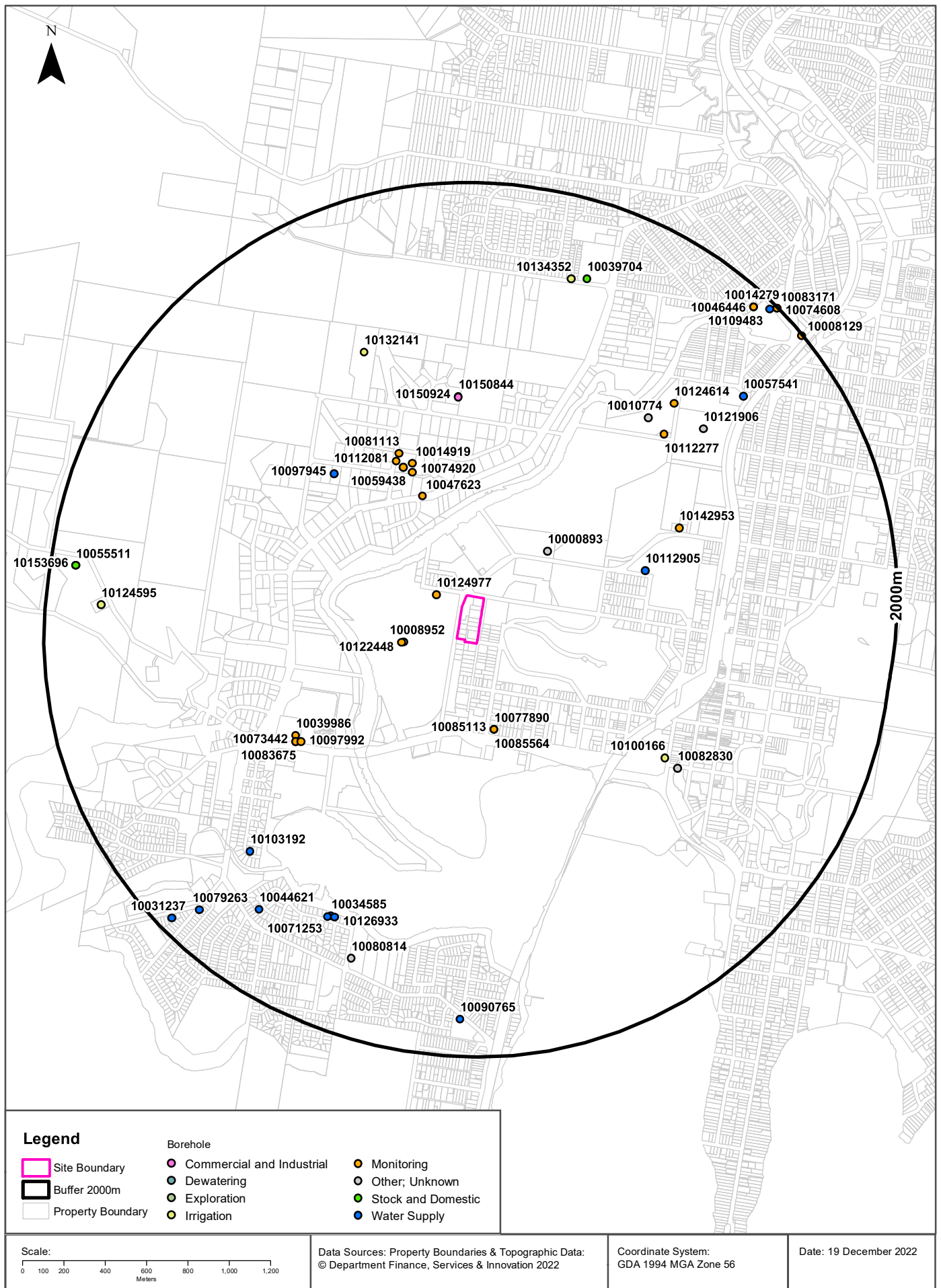
Temporary water restrictions relating to the Botany Sands aquifer within the dataset buffer:

| Prohibition Area No. | Prohibition | Distance | Direction |
|----------------------|----------------------|----------|-----------|
| N/A | No records in buffer | | |

Temporary Water Restriction (Botany Sands Groundwater Source) Order 2018 Data Source : NSW Department of Primary Industries

Groundwater Boreholes

7a-11 Racecourse Road and 32-50 Young Street, West Gosford, NSW 2250



Hydrogeology & Groundwater

7a-11 Racecourse Road and 32-50 Young Street, West Gosford, NSW 2250

Groundwater Boreholes

Boreholes within the dataset buffer:

| NGIS Bore ID | NSW Bore ID | Bore Type | Status | Drill Date | Bore Depth (m) | Reference Elevation | Height Datum | Salinity (mg/L) | Yield (L/s) | SWL (mbgl) | Distance | Direction |
|--------------|-------------|---------------------------|----------------|------------|----------------|---------------------|--------------|-----------------|-------------|------------|----------|------------|
| 10124977 | GW104667 | Monitoring | Functioning | 03/01/2003 | 42.50 | | AHD | 398 | 4.000 | 12.60 | 136m | North West |
| 10008952 | GW100229 | Other | Functioning | 24/01/1993 | 39.00 | | AHD | 1500 | 4.800 | | 257m | West |
| 10122448 | GW100174 | Monitoring | Proposed | 04/11/1992 | 60.00 | | AHD | 3500 | 3.100 | | 268m | West |
| 10000893 | GW072796 | Other | Functioning | 21/01/1995 | 90.00 | | AHD | Good | 0.804 | 9.00 | 383m | North East |
| 10077890 | GW200839 | Monitoring | Functional | 12/05/2010 | 7.50 | | AHD | | | 3.00 | 425m | South |
| 10085113 | GW200838 | Monitoring | Functional | 12/05/2010 | 7.50 | | AHD | | | 3.00 | 425m | South |
| 10085564 | GW200840 | Monitoring | Functional | 24/05/2010 | 8.00 | | AHD | | | 3.00 | 425m | South |
| 10047623 | GW202234 | Monitoring | Functional | 07/03/2006 | 5.10 | | AHD | | | 1.50 | 526m | North |
| 10074920 | GW107069 | Monitoring | Unknown | 11/10/2004 | 4.00 | | AHD | | | 1.52 | 650m | North |
| 10014919 | GW107070 | Monitoring | Unknown | 11/10/2004 | 5.00 | | AHD | | | 1.48 | 692m | North |
| 10059438 | GW107072 | Monitoring | Unknown | 11/10/2004 | 2.50 | | AHD | | | 1.22 | 692m | North West |
| 10076935 | GW107071 | Monitoring | Unknown | 11/10/2004 | 5.00 | | AHD | | | 1.24 | 692m | North West |
| 10112081 | GW202233 | Monitoring | Functional | 07/03/2006 | 5.20 | | AHD | | | 1.00 | 733m | North West |
| 10081113 | GW107073 | Monitoring | Unknown | 12/10/2004 | 4.20 | | AHD | | | 1.12 | 762m | North West |
| 10112905 | GW053790 | Water Supply | Unknown | 01/01/1980 | 42.70 | | AHD | | | | 793m | East |
| 10097945 | GW028457 | Water Supply | Unknown | | 3.60 | | AHD | 0-500 ppm | | | 871m | North West |
| 10097992 | GW101285 | Monitoring | Functional | 17/04/1996 | 5.00 | | AHD | | | 0.70 | 904m | South West |
| 10039986 | GW101286 | Monitoring | Abandoned | 17/04/1996 | 3.80 | | AHD | | | 0.37 | 910m | South West |
| 10073442 | GW101284 | Monitoring | Functional | 17/04/1996 | 5.00 | | AHD | | | 0.70 | 926m | South West |
| 10083675 | GW101287 | Monitoring | Abandoned | 17/04/1996 | 3.80 | | AHD | | | 0.85 | 926m | South West |
| 10150924 | GW204856 | Commercial and Industrial | Functioning | 15/04/2020 | 58.00 | | AHD | | | | 961m | North |
| 10150844 | GW204855 | Commercial and Industrial | Non-functional | 15/04/2020 | 58.00 | | AHD | | | | 962m | North |
| 10142953 | GW100343 | Monitoring | Functioning | 15/03/1993 | 73.00 | | AHD | 2800 | 9.000 | 5.50 | 1005m | North East |
| 10100166 | GW201679 | Irrigation | Functioning | 20/09/2004 | 102.00 | | AHD | | | | 1067m | South East |
| 10082830 | GW201893 | Other | Functional | 08/08/2004 | 78.00 | | AHD | | 1.500 | | 1144m | South East |
| 10112277 | GW201179 | Monitoring | Functional | 12/03/2007 | 16.20 | | AHD | | | 3.05 | 1180m | North East |
| 10010774 | GW065029 | Other | Unknown | 22/12/1989 | 62.00 | | AHD | Fresh | | | 1182m | North East |
| 10132141 | GW047184 | Irrigation | Unknown | 01/09/1978 | 65.00 | | AHD | Good | | | 1278m | North |
| 10124614 | GW201689 | Monitoring | Functional | 22/11/2007 | 62.00 | | AHD | 600 | 4.000 | 3.60 | 1317m | North East |

| NGIS Bore ID | NSW Bore ID | Bore Type | Status | Drill Date | Bore Depth (m) | Reference Elevation | Height Datum | Salinity (mg/L) | Yield (L/s) | SWL (mbgl) | Distance | Direction |
|--------------|-------------|--------------------|-------------|------------|----------------|---------------------|--------------|-----------------|-------------|------------|----------|------------|
| 10121906 | GW105399 | Other | Unknown | 14/08/2003 | 48.50 | | AHD | 660 | 2.500 | 6.60 | 1342m | North East |
| 10103192 | GW202194 | Water Supply | Functioning | 14/02/2007 | 28.50 | | AHD | good | 1.000 | 1.50 | 1437m | South West |
| 10126933 | GW202156 | Water Supply | Functioning | 15/11/2007 | 9.00 | | AHD | 200 | 0.100 | 4.80 | 1474m | South West |
| 10034585 | GW201421 | Water Supply | Functioning | 12/04/2011 | 5.00 | | AHD | | 1.000 | 2.00 | 1475m | South West |
| 10071253 | GW202091 | Water Supply | Functioning | 08/01/2007 | 6.00 | | AHD | | 1.000 | 3.00 | 1485m | South West |
| 10057541 | GW201677 | Water Supply | Functioning | 28/06/2006 | 205.00 | | AHD | | 8.000 | 7.00 | 1592m | North East |
| 10134352 | GW042838 | Irrigation | Unknown | 01/08/1975 | 29.00 | | AHD | 501-1000 ppm | | | 1602m | North |
| 10044621 | GW202097 | Water Supply | Functioning | 12/01/2007 | 6.00 | | AHD | | 1.000 | 3.00 | 1623m | South West |
| 10039704 | GW014431 | Stock and Domestic | Unknown | 01/03/1960 | 24.30 | | AHD | | | | 1626m | North |
| 10080814 | GW201053 | Other | Functioning | 06/11/2004 | 62.00 | | AHD | | 2.000 | 4.00 | 1627m | South |
| 10124595 | GW051977 | Irrigation | Unknown | 01/11/1980 | 40.00 | | AHD | 0-500 ppm | | | 1728m | West |
| 10079263 | GW073449 | Water Supply | Unknown | 01/01/1978 | 6.00 | | AHD | | | | 1811m | South West |
| 10090765 | GW051157 | Water Supply | Unknown | 01/10/1980 | 61.00 | | AHD | 501-1000 ppm | | | 1819m | South |
| 10055511 | GW203982 | Stock and Domestic | Functioning | 23/09/2014 | 210.00 | | AHD | | | | 1876m | West |
| 10153696 | GW203773 | Water Supply | Functioning | 23/09/2014 | 210.00 | | AHD | | | | 1876m | West |
| 10014279 | GW201889 | Monitoring | Functional | 22/02/2006 | 150.00 | | AHD | | | 4.00 | 1922m | North East |
| 10046446 | GW201889 | Monitoring | Functional | 22/02/2006 | 150.00 | | AHD | | | 4.00 | 1922m | North East |
| 10109483 | GW201889 | Monitoring | Functional | 22/02/2006 | 150.00 | | AHD | | | 4.00 | 1922m | North East |
| 10031237 | GW102950 | Water Supply | Unknown | 01/01/1946 | 70.00 | | AHD | | 1.500 | | 1933m | South West |
| 10013094 | GW201688 | Water Supply | Functioning | 16/04/2005 | 160.00 | | AHD | | | | 1966m | North East |
| 10008129 | GW201054 | Monitoring | Functional | 26/10/2007 | 10.50 | | AHD | | | 1.50 | 1993m | North East |
| 10074608 | GW201888 | Monitoring | Functional | 16/02/2006 | 42.00 | | AHD | | | | 1995m | North East |
| 10083171 | GW201888 | Monitoring | Functional | 16/02/2006 | 42.00 | | AHD | | | | 1995m | North East |

Borehole Data Source: Bureau of Meteorology; Water NSW. Creative Commons 3.0 © Commonwealth of Australia <http://creativecommons.org/licenses/by/3.0/au/deed.en>

Hydrogeology & Groundwater

7a-11 Racecourse Road and 32-50 Young Street, West Gosford, NSW 2250

Driller's Logs

Drill log data relevant to the boreholes within the dataset buffer:

| NGIS Bore ID | Drillers Log | Distance | Direction |
|--------------|---|----------|------------|
| 10124977 | 0.00m-0.20m BITUMEN 0.20m-8.00m SANDSTONE L/BROWN 8.00m-17.30m SANDSTONE/CLAYSTONE 17.30m-18.50m SANDSTONE FRACTURED 18.50m-20.00m SANDSTONE/IRONSTONE FRACTURED 20.00m-20.50m IRONSTONE 20.50m-22.00m SANDSTONE L/BROWN 22.00m-23.50m CLAYSTONE 23.50m-27.50m SANDSTONE/IRONSTONE 27.50m-29.70m CLAYSTONE 29.70m-32.50m SANDSTONE L/BROWN 32.50m-33.00m SANDSTONE/QUARTZ 33.00m-34.50m CLAYSTONE/SHALE 34.50m-36.00m SILTSTONE SOFT 36.00m-37.30m CLAY L/BROWN/STIFF 37.30m-38.50m SILTSTONE L/GREY 38.50m-42.20m SHALE RED 42.20m-42.50m SILTSTONE | 136m | North West |
| 10008952 | 0.00m-8.00m WHITE SANDSTONE 8.00m-20.00m GREY SANDSTONE 20.00m-29.00m BROWN WEATHERED SANDSTONE 29.00m-33.00m GREY SANDSTONE 33.00m-39.00m GREY SILTSTONE | 257m | West |
| 10122448 | 0.00m-1.00m SANDY BLACK LOAM 1.00m-3.00m GREY CLAY 3.00m-4.00m SILTY GREY SAND 4.00m-8.00m SANDY GREY CLAY 8.00m-9.00m WHITE SILTY SAND 9.00m-12.00m SANDY GREY CLAY 12.00m-18.00m GREY CLAY 18.00m-21.00m BROWN WEATHERED SANDSTONE 21.00m-22.00m FRACTURED GREY SANDSTONE 22.00m-35.00m GREY SANDSTONE 35.00m-36.00m FRACTURED SANDSTONE 36.00m-56.00m GREY SILTSTONE 56.00m-57.00m SOFT GREY SHALE 57.00m-60.00m GREY SANDSTONE | 268m | West |
| 10000893 | 0.00m-5.00m 5.00m-17.00m Clay-sandstone 17.00m-90.00m | 383m | North East |
| 10077890 | 0.00m-1.50m Fill 1.50m-3.00m Sandstone, light yellow, weathered 3.00m-6.00m Sandstone, fractured, yellow, grey lense 6.00m-7.50m Sandstone, grey, black lense | 425m | South |
| 10085113 | 0.00m-1.50m Fill 1.50m-3.00m Sandstone, light yellow, weathered 3.00m-6.00m Sandstone, fractured, yellow, grey lense 6.00m-7.50m Sandstone, grey, black lense | 425m | South |
| 10085564 | 0.00m-1.50m Fill 1.50m-3.00m Sandstone, light yellow, weathered 3.00m-6.00m Sandstone, fractured, yellow, grey lense 6.00m-8.00m Sandstone, grey, black lense | 425m | South |
| 10047623 | 0.00m-0.80m Fill; Gravelly Sand, road-base material, medium grained, red/brown, angular gravels up to 100mm diameter, loose, moist 0.80m-1.50m Fill; Gravelly Sandy Clay; moderate plasticity, grey, angular gravels, medium grained sand, moist 1.50m-2.80m Clayey Sand; fine to medium grained, grey, low plasticity clay, moist, well graded, moist 2.80m-3.50m Peat; Clay; low to moderate plasticity, black/grey, moist/wet 3.50m-5.10m Clay; low plasticity, dark grey, loose, wet | 526m | North |
| 10074920 | 0.00m-1.20m FILL, SANDY CLAY 1.20m-2.10m FILL,CLAY 2.10m-3.70m PEAT, SANDY CLAY 3.70m-4.00m SAND | 650m | North |
| 10014919 | 0.00m-2.00m FILL,SANDY CLAY 2.00m-3.00m PEAT,SANDY CLAY 3.00m-4.00m SAND 4.00m-5.00m SANDY CLAY | 692m | North |

| NGIS Bore ID | Drillers Log | Distance | Direction |
|--------------|--|----------|------------|
| 10059438 | 0.00m-2.50m FILL.,SANDY CLAY | 692m | North West |
| 10076935 | 0.00m-2.00m FILL,CLAYEY SAND 2.00m-2.30m SANDY CLAY 2.30m-2.80m PEAT,SANDY CLAY 2.80m-5.00m SAND | 692m | North West |
| 10112081 | 0.00m-0.25m Fill; Asphalt, angular gravels, loose, wet 0.25m-0.50m Fill; Sandy Clay; low to moderate plasticity, medium grained sands with subangular gravels 0.50m-2.40m Sandy Clay, moderate to high plasticity, grey with red mottling, fine grained sands, some gravels, moist 2.40m-3.00m Peat; Sandy Clay, low to moderate plasticity, black/dark grey, moist 3.00m-4.00m Sandy Clay; low plasticity, grey, medium grained sand 4.00m-5.00m Clay; high plasticity, stiff, fine grained sand 5.00m-5.20m Sand; fine to medium grained, grey, some clay | 733m | North West |
| 10081113 | 0.00m-2.10m FILL,SANDY CLAY 2.10m-2.80m PEAT,SANDY CLAY 2.80m-3.50m SAND 3.50m-4.20m CLAY | 762m | North West |
| 10097945 | 0.00m-1.82m Loam Black Sandy 1.82m-2.74m Sand White 2.74m-3.65m Sand Clay Interlayere 2.74m-3.65m Gravel Bands | 871m | North West |
| 10097992 | 0.00m-0.50m sandy clay (fill) 0.50m-2.00m Sandy clay 2.00m-5.00m silty to clayey sand | 904m | South West |
| 10039986 | 0.00m-0.50m Fill - roadbase & sand 0.50m-1.50m sandy clay 1.50m-3.80m clayey sand 3.80m-4.00m clay | 910m | South West |
| 10073442 | 0.00m-1.10m Silty, black sand 1.10m-2.50m silty, grey sand 2.50m-5.00m grey, clayey, sand | 926m | South West |
| 10083675 | 0.00m-1.00m Fill - sand with clay 1.00m-1.90m silty sand 1.90m-3.80m clayey sand 3.80m-4.20m clay | 926m | South West |
| 10142953 | 0.00m-9.00m TOPSOIL & SAND (WB) 9.00m-18.50m RED CLAY 18.50m-29.00m SAND (WB) 29.00m-30.00m GRAVEL (WB) 30.00m-45.00m GREY SANDSTONE (MEDIUM GRAIN) 45.00m-47.00m GREY SANDSTONE, CLAY (MEDIUM GRAIN) 47.00m-52.00m GREY SANDSTONE (FINE GRAIN) 52.00m-54.00m GREY SANDSTONE (MEDIUM GRAIN) & BED SHALE 54.00m-55.00m CLAY BAND 55.00m-61.00m GREY SANDSTONE (MEDIUM GRAIN) 61.00m-62.00m GREY SANDSTONE (MEDIUM GRAIN) & BED SHALE 62.00m-72.50m GREY SANDSTONE (MEDIUM GRAIN) W.B. 72.50m-73.00m GREY SANDSTONE (MEDIUM GRAIN) & BED SHALE | 1005m | North East |
| 10100166 | 0.00m-6.00m Sand, medium, golden 6.00m-13.00m Clay, grey 13.00m-16.00m Sand, fine, grey, with clay 16.00m-24.00m Sand, medium-fine, grey, with dirty water & clay 24.00m-25.00m Gravel & Sand, harder 25.00m-30.00m Shale, grey 30.00m-35.00m Sandstone, with some Shale bands, highly fractured 35.00m-57.00m Shale 57.00m-65.00m Sandstone 65.00m-65.00m Shale 65.00m-75.50m Sandstone, grey 75.50m-102.00m Shale | 1067m | South East |
| 10082830 | 0.00m-3.00m Sandy Clay, with wood & gravel 3.00m-5.00m Clay, marine, grey 5.00m-11.00m Sand, grey, with clay 11.00m-12.00m Sandstone, weathered layer 12.00m-14.00m Sandy Clay 14.00m-16.00m Sandstone, weathered 16.00m-20.00m Clay; pink & red 20.00m-27.00m Shale, grey 27.00m-30.00m Sandstone, white 30.00m-34.00m Shale 34.00m-35.00m Sandstone 35.00m-44.00m Shale, grey red 44.00m-46.00m Sandstone 46.00m-60.00m Shale & Sandstone layers 60.00m-78.00m Shale, solid, grey Sandstone layers | 1144m | South East |
| 10112277 | 0.00m-2.50m FILL,SOIL,CLAY,GRAVEL 2.50m-3.50m SANDY CLAY 3.50m-13.50m SAND SILTY WET,GREY 13.50m-16.20m SAND,YELLOW BROWN | 1180m | North East |

| NGIS Bore ID | Drillers Log | Distance | Direction |
|--------------|--|----------|------------|
| 10132141 | 0.00m-24.00m Clay Soft 24.00m-57.00m Sandstone Water Supply 57.00m-65.00m Shale | 1278m | North |
| 10124614 | 0.00m-1.00m Fill 1.00m-15.00m Sand, grey, fine to medium 15.00m-16.00m Sand, yellow, medium 16.00m-17.00m Clay, white-cream 17.00m-20.00m Sandstone, strongly weathered, grey 20.00m-23.00m Claystone, white to light grey 23.00m-26.00m Sandstone, cream to yellow 26.00m-33.00m Shale & Siltstone, in part iron rich 33.00m-36.00m Shale, light grey 36.00m-41.00m Shale, grey 41.00m-62.00m Shale, grey, & Sandstone interbedded | 1317m | North East |
| 10121906 | 0.00m-4.00m CLAY 4.00m-15.00m SAND/SILT/CLAY/SANDSTONE BANDS/ROCKS 15.00m-25.00m SANDSTONE GREY SOFT 25.00m-27.00m CLAYSTONE FRACTURED 27.00m-29.00m SANDSTONE GREY SOFT 29.00m-35.50m SILTSTONE SOFT 35.50m-37.00m SANDSTONE GREY 37.00m-37.30m CLAY 37.30m-40.00m SANDSTONE GREY 40.00m-40.20m CLAY 40.20m-44.10m SILTSTONE SOFT 44.10m-44.20m DOLERITE 44.20m-44.40m DOLERITE FRACTURED 44.40m-45.00m DOLERITE V/FINE GRAIN/HARD/CREAM 45.00m-48.50m SANDSTONE GREY | 1342m | North East |
| 10103192 | 0.00m-0.50m Sandy Clay 0.50m-8.00m Clay, with sand & shells 8.00m-22.00m Clay, sticky, grey with red bands 22.00m-28.00m Clay, grey with bands of grit & sands 28.00m-28.50m Rock, hard | 1437m | South West |
| 10126933 | 0.00m-1.00m Sand, grey black 1.00m-3.00m Clay, orange cream 3.00m-6.00m Clay, orange, with white sand mix 6.00m-8.00m Sand, light grey 8.00m-9.00m Clay, white | 1474m | South West |
| 10034585 | 0.00m-1.00m Fill (Clay) 1.00m-5.00m Sand & grey Clay | 1475m | South West |
| 10071253 | 0.00m-1.00m Topsoil/Sand 1.00m-2.50m Mud, sandy 2.50m-5.00m Sand, shell, mud 5.00m-6.00m Sand | 1485m | South West |
| 10057541 | 0.00m-5.00m Clay, red 5.00m-12.00m Sandy Clay 12.00m-24.00m Clay, wet 24.00m-57.00m Shale, grey 57.00m-67.00m Sandstone, shale bands 67.00m-118.00m Shale 118.00m-140.00m Sandstone/Shale/Siltstone 140.00m-150.00m Sandstone, fine 150.00m-205.00m Sandstone, minor fractures | 1592m | North East |
| 10134352 | 0.00m-0.24m Soil 0.24m-3.35m Clay 3.35m-9.14m Sand Wet Clay 9.14m-12.50m Clay 12.50m-22.86m Sandstone Water Supply 22.86m-28.96m Shale | 1602m | North |
| 10044621 | 0.00m-1.00m Topsoil 1.00m-3.00m Sandy Clay, grey 3.00m-3.50m Clay, grey 3.50m-6.00m Sand | 1623m | South West |
| 10080814 | 0.00m-16.00m Clay 16.00m-72.00m Sandy Shale, grey | 1627m | South |
| 10124595 | 0.00m-0.30m Soil Sandy 0.30m-27.70m Sandstone Yellow 27.70m-27.90m Sandstone Yellow Coarse Open Water Supply 27.90m-32.00m Sandstone Yellow 32.00m-40.00m Sandstone Grey | 1728m | West |
| 10090765 | 0.00m-1.00m Soil 1.00m-13.00m Clay 13.00m-27.00m Sandstone 27.00m-35.00m Shale 35.00m-61.00m Sandstone Water Supply | 1819m | South |

| NGIS Bore ID | Drillers Log | Distance | Direction |
|--------------|--|----------|------------|
| 10014279 | 0.00m-3.00m Clay, & organics, grey 3.00m-12.00m Clay, & fine Sand, grey, wet 12.00m-15.00m Sandstone & organics 15.00m-20.00m Sandstone/Shale, soft 20.00m-147.00m Shale, with minor soft sand bands, clay/grey 147.00m-150.00m Sandstone | 1922m | North East |
| 10046446 | 0.00m-3.00m Clay, & organics, grey 3.00m-12.00m Clay, & fine Sand, grey, wet 12.00m-15.00m Sandstone & organics 15.00m-20.00m Sandstone/Shale, soft 20.00m-147.00m Shale, with minor soft sand bands, clay/grey 147.00m-150.00m Sandstone | 1922m | North East |
| 10109483 | 0.00m-3.00m Clay, & organics, grey 3.00m-12.00m Clay, & fine Sand, grey, wet 12.00m-15.00m Sandstone & organics 15.00m-20.00m Sandstone/Shale, soft 20.00m-147.00m Shale, with minor soft sand bands, clay/grey 147.00m-150.00m Sandstone | 1922m | North East |
| 10013094 | 0.00m-11.00m Topsoil, sandy, grey brown 11.00m-18.00m Siltstone, weathered, pink to orange 18.00m-21.00m Sandstone, red 21.00m-24.00m Sandstone, grey, with clay layers 24.00m-45.00m Shale, grey 45.00m-50.00m Sandstone, grey 50.00m-72.00m Shale, grey 72.00m-105.00m Sandstone, grey 105.00m-108.00m Shale, orange grey 108.00m-128.00m Shale, dark grey 128.00m-132.00m Shale, pinkish grey 132.00m-146.00m Shale, grey 146.00m-155.00m Sandstone, coarse grained 155.00m-159.00m Shale, grey, reddish brown 159.00m-160.00m Shale, greenish grey | 1966m | North East |
| 10008129 | 0.00m-0.10m Fill: Ashphalt 0.10m-0.25m Fill: Road Base 0.25m-0.45m Fill: Concrete Slab 0.45m-1.80m Clay, brown 1.80m-2.00m Sand, dry, brown 2.00m-8.50m Sand, wet, grey 8.50m-10.50m Sand, bands of & hard Clay | 1993m | North East |
| 10074608 | 0.00m-3.00m Clay, brown/black 3.00m-5.00m Clay, dark brown, Sand & Silt 5.00m-9.00m Clay/Sand, brown 9.00m-11.00m Sand/Gravel, coarse, angular 11.00m-16.00m Sandy Clay; grey 16.00m-17.00m Sand, black, organics & coarse angular 17.00m-23.00m Sandy Clay; grey 23.00m-27.00m Rock/Shale, grey, with organics 27.00m-42.00m Clay, grey/Shale | 1995m | North East |
| 10083171 | 0.00m-3.00m Clay, brown/black 3.00m-5.00m Clay, dark brown, Sand & Silt 5.00m-9.00m Clay/Sand, brown 9.00m-11.00m Sand/Gravel, coarse, angular 11.00m-16.00m Sandy Clay; grey 16.00m-17.00m Sand, black, organics & coarse angular 17.00m-23.00m Sandy Clay; grey 23.00m-27.00m Rock/Shale, grey, with organics 27.00m-42.00m Clay, grey/Shale | 1995m | North East |

Drill Log Data Source: Bureau of Meteorology; Water NSW. Creative Commons 3.0 © Commonwealth of Australia <http://creativecommons.org/licenses/by/3.0/au/deed.en>



Geological Units

What are the Geological Units within the dataset buffer?

| Unit Code | Unit Name | Description | Unit Stratigraphy | Age | Dominant Lithology | Distance |
|-----------|--|---|--|--|------------------------|----------|
| Tngb | Burralow Formation | Fine-grained, micaceous, quartz- to quartz-lithic sandstone; interbedded with siltstone, grey shale and red-brown claystone. | /Narrabeen Group/Gosford Subgroup/Burralow Formation// | Early Triassic (base) to Middle Triassic (top) | Sandstone | 0m |
| Q_h | Anthropogenic deposits | Anthropocene deposits varying from large man-made clasts (concrete blocks to building demolition rubble) to quarried natural boulders, with interstitial sand-sized to clay matrix. | /Anthropogenic deposits/// | Quaternary (base) to Now (top) | Anthropogenic material | 9m |
| QH_af | Alluvial floodplain deposits | Silt, very fine- to medium-grained lithic to quartz-rich sand, clay. | /Alluvium//Alluvial floodplain deposits// | Holocene (base) to Now (top) | Clastic sediment | 202m |
| QH_es | Estuarine swamp | Organic-rich mud, peat, clay, silt, very fine- to fine-grained sand (marine-deposited), fine- to medium-grained sand (fluvially deposited). | /Estuarine deposits//Estuarine swamp// | Holocene (base) to Now (top) | Organic rich sediment | 297m |
| Q_acw | Alluvial channel deposits - subaqueous | Fluvially deposited sand, gravel, silt, clay. | /Alluvium//Alluvial channel deposits//Alluvial channel deposits-subaqueous/ | Quaternary (base) to Now (top) | Clastic sediment | 316m |
| QH_edw | Estuarine fluvial delta front (subaqueous) | Very fine- to fine-grained (sporadically medium-grained) lithic-quartz sand (fluvially-deposited), silt, clay, shell material. | /Estuarine deposits//Estuarine fluvial delta front/Estuarine fluvial delta front (subaqueous)/ | Holocene (base) to Now (top) | Clastic sediment | 657m |
| QH_ebw | Estuarine basin and bay (subaqueous) | Clay, silt, shell, very fine- to fine-grained lithic-quartz (\pm carbonate) sand (fluvially-and/or marine-deposited). | /Estuarine deposits//Estuarine basin and bay/Estuarine basin and bay (subaqueous)/ | Holocene (base) to Now (top) | Clastic sediment | 796m |
| Q_av | Alluvial valley deposits | Silt, clay, (fluvially deposited) lithic to quartz-lithic sand, gravel. | /Alluvium//Alluvial valley deposits// | Quaternary (base) to Now (top) | Clastic sediment | 810m |

Linear Geological Structures

What are the Dyke, Sill, Fracture, Lineament and Vein trendlines within the dataset buffer?

| Map ID | Feature Description | Map Sheet Name | Distance |
|--------|---|---|----------|
| 227710 | Lineament, approximate, airphoto interpreted. | Gosford-Lake Macquarie 1:100,000 Geological Sheet | 274m |
| 227711 | Lineament, approximate, airphoto interpreted. | Gosford-Lake Macquarie 1:100,000 Geological Sheet | 658m |

What are the Faults, Shear zones or Schist zones, Intrusive boundaries & Marker beds within the dataset buffer?

| Map ID | Boundary Type | Description | Map Sheet Name | Distance |
|-------------|---------------|-------------|----------------|----------|
| No Features | | | | |

Geological Data Source: Statewide Seamless Geology v2.1, Department of Regional NSW

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Naturally Occurring Asbestos Potential

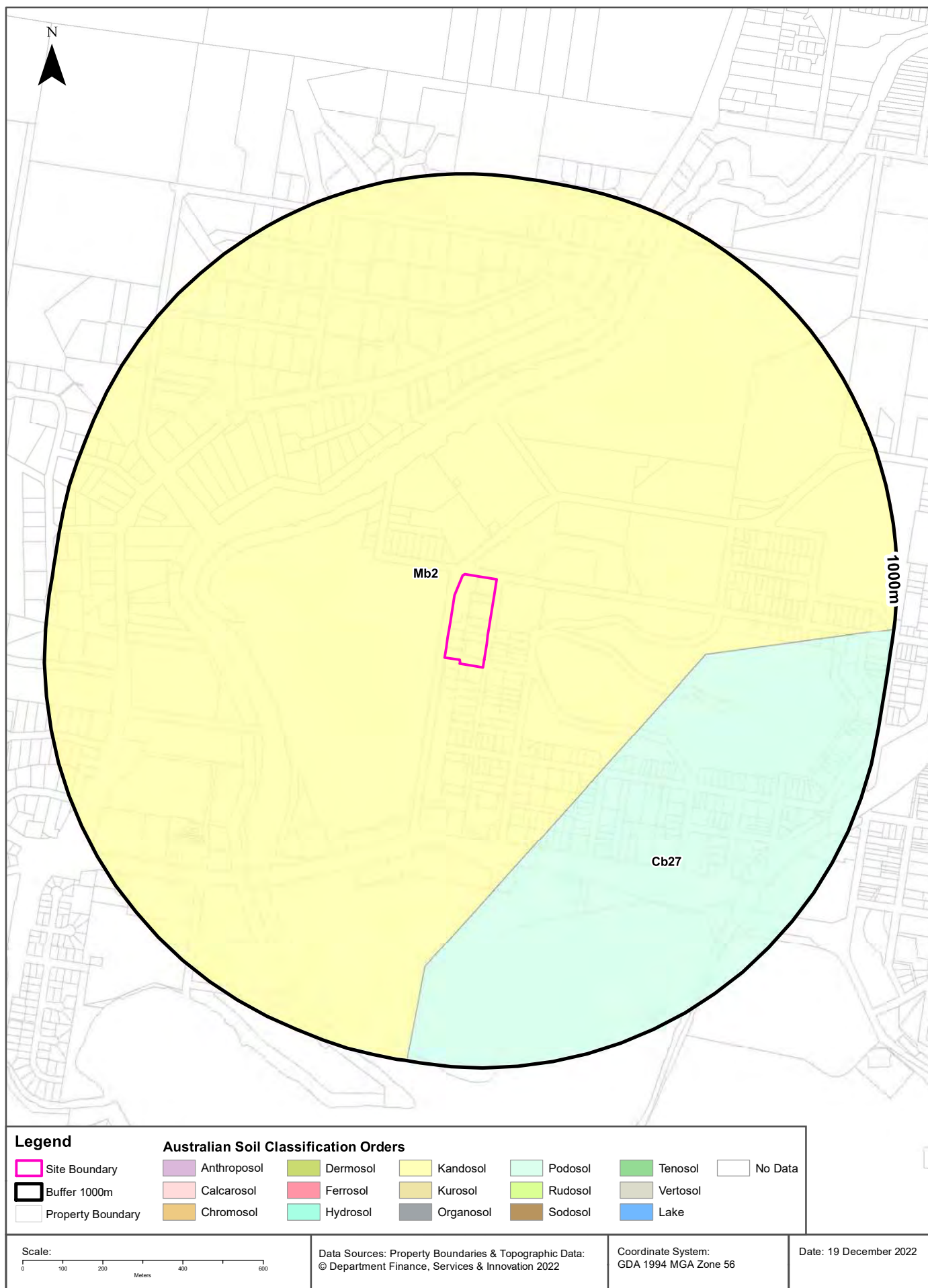
7a-11 Racecourse Road and 32-50 Young Street, West Gosford, NSW 2250

Naturally Occurring Asbestos Potential

Naturally Occurring Asbestos Potential within the dataset buffer:

| Potential | Sym | Strat Name | Group | Formation | Scale | Min Age | Max Age | Rock Type | Dom Lith | Description | Dist | Dir |
|----------------------|-----|------------|-------|-----------|-------|---------|---------|-----------|----------|-------------|------|-----|
| No records in buffer | | | | | | | | | | | | |

Naturally Occurring Asbestos Potential Data Source: © State of New South Wales through NSW Department of Industry, Resources & Energy



Soils

7a-11 Racecourse Road and 32-50 Young Street, West Gosford, NSW 2250

Atlas of Australian Soils

Soil mapping units and Australian Soil Classification orders within the dataset buffer:

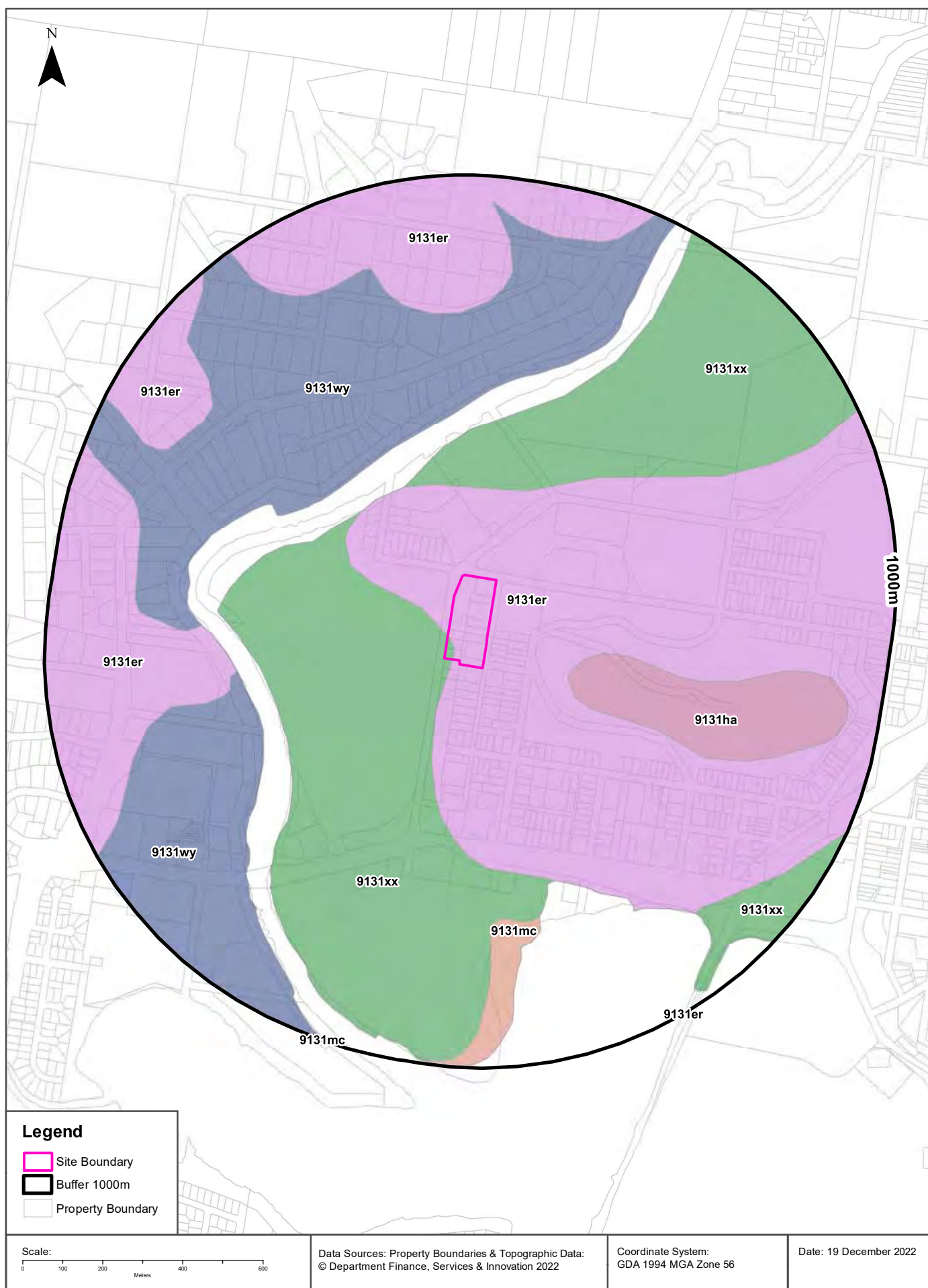
| Map Unit Code | Soil Order | Map Unit Description | Distance | Direction |
|---------------|------------|---|----------|------------|
| Mb2 | Kandosol | Dissected sandstone plateau of moderate to strong relief with sandstone pillars, ledges, and slabs-- level to undulating ridges, irregularly benched slopes, steep ridges, cliffs, canyons, narrow sandy valleys: chief soils are (i) on areas of gentle to moderate relief, acid yellow leached earths (Gn2.74) and (Gn2.34) and acid leached yellow earths (Gn2.24)- sometimes these soils contain ironstone gravel; and (ii) on, or adjacent to, areas of strong relief, siliceous sands (Uc1.2), leached sands (Uc2.12) and (Uc2.2), and shallow forms of the above (Gn2) soils. Associated are: (i) on flat to gently undulating remnants of the original plateau surface, leached sands (Uc2.3), siliceous sands (Uc1.2), sandy earths (Uc5.22), and (Gn2) soils as for (i) above (these areas are in part comparable with unit Cb29); (ii) on flat ironstone gravelly remnants of the original plateau surface, (Gn2) soils as for unit Mb5(i); (iii) on gently undulating ridges where interbedded shales are exposed, shallow, often stony (Dy3.41), (Dr2.21), and related soils similar to unit Tb35; (iv) narrow valleys of (Uc2.3) soils flanked by moderate slopes of (Dy3.41) soils; (v) escarpments of steep hills with shallow (Dy) and (Dr) soils between sandstone pillars; and (vi) shallow (Um) soils, such as (Um6.21) on steep hills of basic rocks. As mapped, minor areas of units Mg20, Mm1, and Mw8 are included. Data are limited. | 0m | On-site |
| Cb27 | Podosol | Coastal sand plains and dunes, lagoons, and swampy areas: chief soils are leached sands (Uc2.3 and Uc2.2). Associated are dunes of siliceous sands (Uc1.2) and/or calcareous sands (Uc1.1) fringing the coastline; and swampy areas of (Uf6) soils and (Uc1.2) soils with peaty surfaces. Unit Cb27 has similarities with units Cb28 and Ca6. | 392m | South East |

Atlas of Australian Soils Data Source: CSIRO

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Soil Landscapes of Central and Eastern NSW

7a-11 Racecourse Road and 32-50 Young Street, West Gosford, NSW 2250



Soils

7a-11 Racecourse Road and 32-50 Young Street, West Gosford, NSW 2250

Soil Landscapes of Central and Eastern NSW

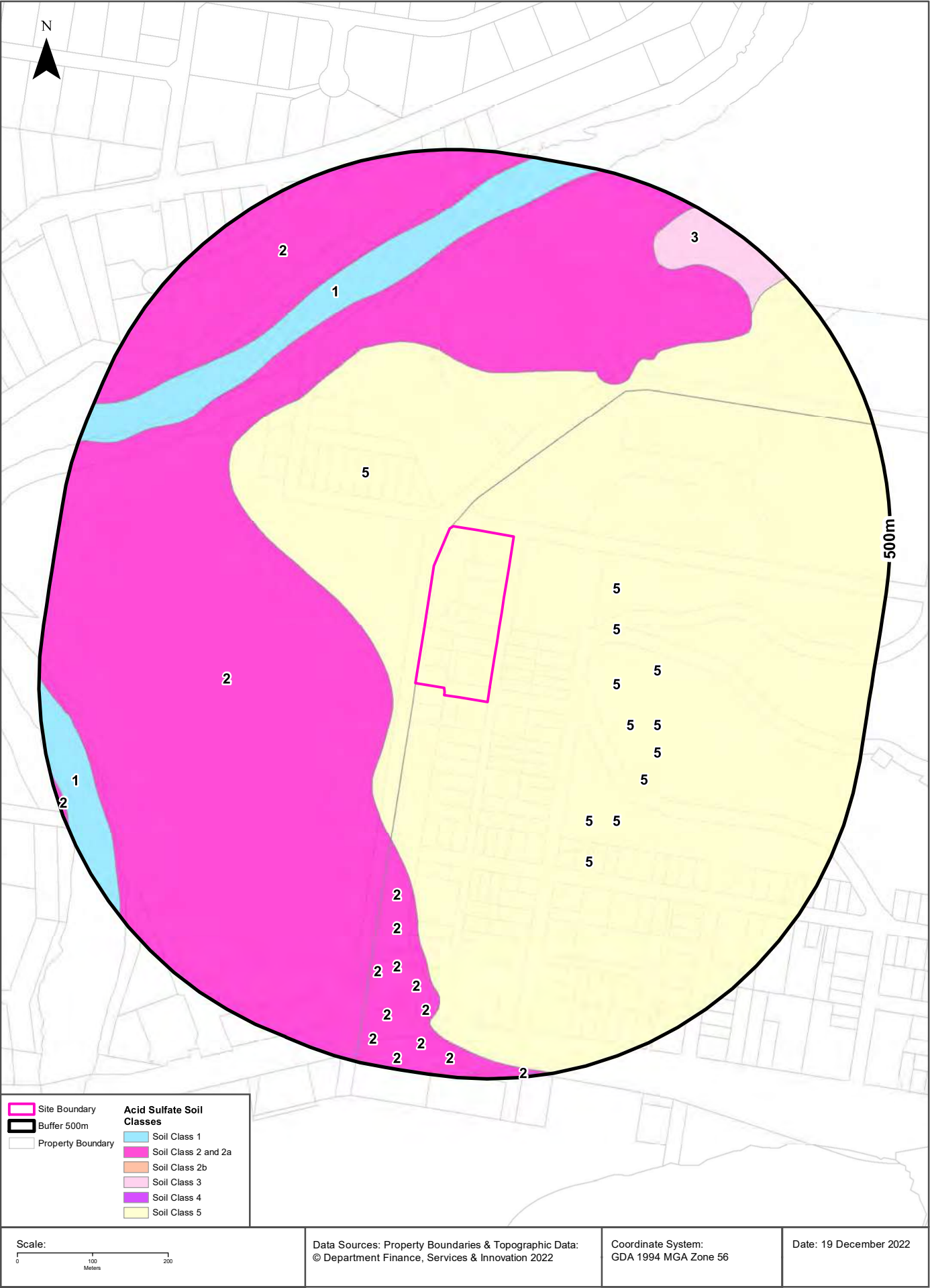
Soil Landscapes of Central and Eastern NSW within the dataset buffer:

| Soil Code | Name | Distance | Direction |
|------------------------|-------------------|----------|------------|
| 9131er | Erina | 0m | On-site |
| 9131xx | Disturbed Terrain | 0m | On-site |
| 9131ha | Hawkesbury | 214m | East |
| 9131wy | Wyang | 361m | North West |
| 9131mc | Mangrove Creek | 627m | South |

Soil Landscapes of Central and Eastern NSW: NSW Department of Planning, Industry and Environment
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Acid Sulfate Soils

7a-11 Racecourse Road and 32-50 Young Street, West Gosford, NSW 2250



Acid Sulfate Soils

7a-11 Racecourse Road and 32-50 Young Street, West Gosford, NSW 2250

Environmental Planning Instrument - Acid Sulfate Soils

What is the on-site Acid Sulfate Soil Plan Class that presents the largest environmental risk?

| Soil Class | Description | EPI Name |
|------------|--|--|
| 5 | Works within 500 metres of adjacent Class 1, 2, 3, or 4 land that is below 5 metres AHD and by which the watertable is likely to be lowered below 1 metre AHD on adjacent Class 1, 2, 3 or 4 land, present an environmental risk | State Environmental Planning Policy (Gosford City Centre) 2018 |
| 5 | Works within 500 metres of adjacent Class 1, 2, 3, or 4 land that is below 5 metres AHD and by which the watertable is likely to be lowered below 1 metre AHD on adjacent Class 1, 2, 3 or 4 land, present an environmental risk | State Environmental Planning Policy (Precincts?Regional) 2021 |
| 5 | Works within 500 metres of adjacent Class 1, 2, 3, or 4 land that is below 5 metres AHD and by which the watertable is likely to be lowered below 1 metre AHD on adjacent Class 1, 2, 3 or 4 land, present an environmental risk | Central Coast Local Environmental Plan 2022 |

If the on-site Soil Class is 5, what other soil classes exist within 500m?

| Soil Class | Description | EPI Name | Distance | Direction |
|------------|---|--|----------|------------|
| 2 | Works below natural ground surface present an environmental risk; Works by which the watertable is likely to be lowered present an environmental risk | Central Coast Local Environmental Plan 2022 | 32m | West |
| 2 | Works below natural ground surface present an environmental risk; Works by which the watertable is likely to be lowered present an environmental risk | State Environmental Planning Policy (Gosford City Centre) 2018 | 203m | South |
| 2 | Works below natural ground surface present an environmental risk; Works by which the watertable is likely to be lowered present an environmental risk | State Environmental Planning Policy (Precincts?Regional) 2021 | 203m | South |
| 1 | Any works present an environmental risk | Central Coast Local Environmental Plan 2022 | 322m | North West |
| 3 | Works more than 1 metre below natural ground surface present an environmental risk; Works by which the watertable is likely to be lowered more than 1 metre below natural ground surface, present an environmental risk | Central Coast Local Environmental Plan 2022 | 409m | North East |

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Atlas of Australian Acid Sulfate Soils

7a-11 Racecourse Road and 32-50 Young Street, West Gosford, NSW 2250



Acid Sulfate Soils

7a-11 Racecourse Road and 32-50 Young Street, West Gosford, NSW 2250

Atlas of Australian Acid Sulfate Soils

Atlas of Australian Acid Sulfate Soil categories within the dataset buffer:

| Class | Description | Distance | Direction |
|-------|---|----------|------------|
| C | Extremely low probability of occurrence. 1-5% chance of occurrence with occurrences in small localised areas. | 0m | On-site |
| B | Low Probability of occurrence. 6-70% chance of occurrence. | 210m | North |
| A | High Probability of occurrence. >70% chance of occurrence. | 614m | South West |

Atlas of Australian Acid Sulfate Soils Data Source: CSIRO

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Dryland Salinity

7a-11 Racecourse Road and 32-50 Young Street, West Gosford, NSW 2250

Dryland Salinity - National Assessment

Is there Dryland Salinity - National Assessment data onsite?

No

Is there Dryland Salinity - National Assessment data within the dataset buffer?

No

What Dryland Salinity assessments are given?

| Assessment 2000 | Assessment 2020 | Assessment 2050 | Distance | Direction |
|-----------------|-----------------|-----------------|----------|-----------|
| N/A | N/A | N/A | | |

Dryland Salinity Data Source : National Land and Water Resources Audit

The Commonwealth and all suppliers of source data used to derive the maps of "Australia, Forecast Areas Containing Land of High Hazard or Risk of Dryland Salinity from 2000 to 2050" do not warrant the accuracy or completeness of information in this product. Any person using or relying upon such information does so on the basis that the Commonwealth and data suppliers shall bear no responsibility or liability whatsoever for any errors, faults, defects or omissions in the information. Any persons using this information do so at their own risk.

In many cases where a high risk is indicated, less than 100% of the area will have a high hazard or risk.

Mining

7a-11 Racecourse Road and 32-50 Young Street, West Gosford, NSW 2250

Mining Subsidence Districts

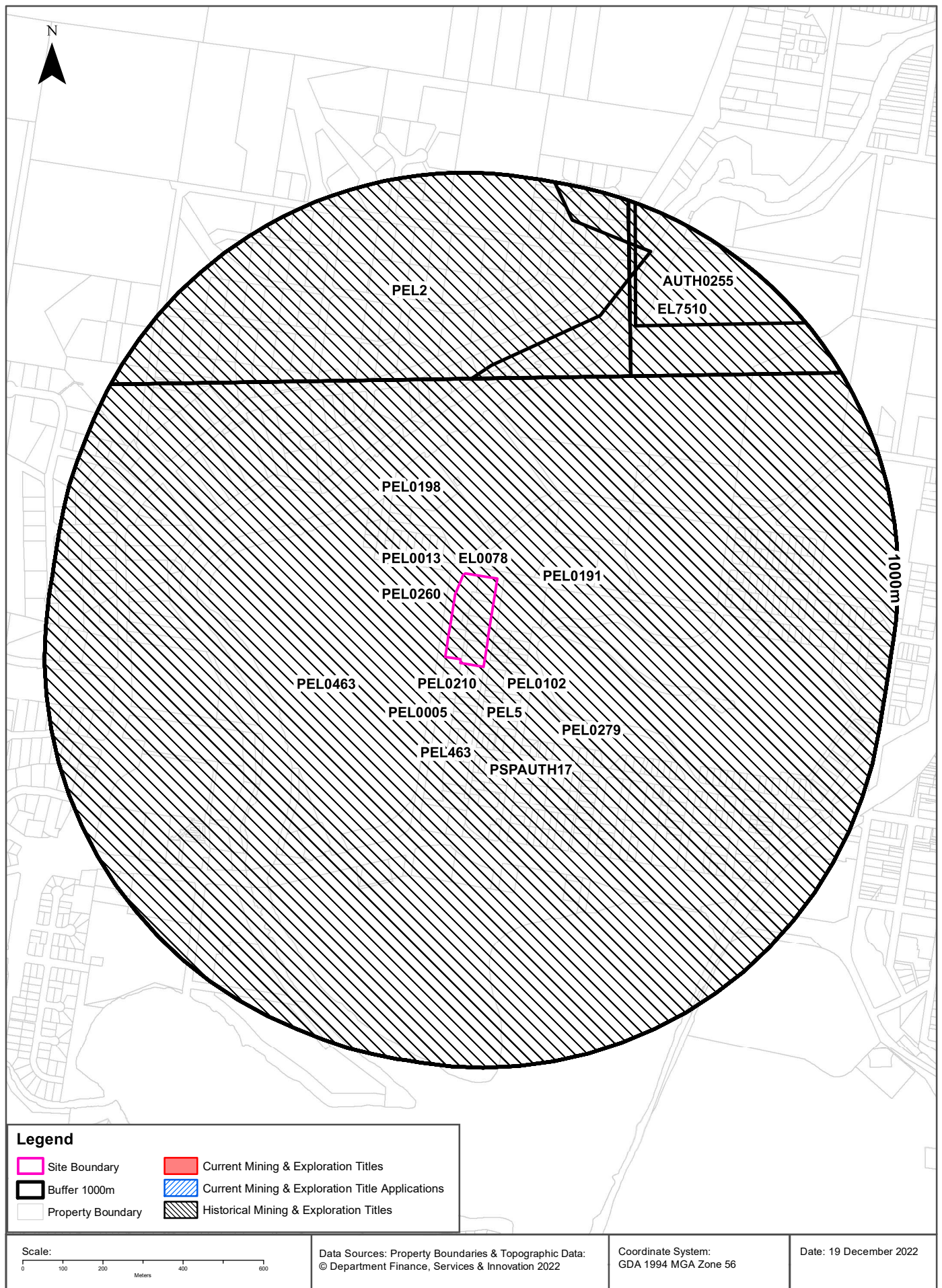
Mining Subsidence Districts within the dataset buffer:

| District | Distance | Direction |
|---|----------|-----------|
| There are no Mining Subsidence Districts within the report buffer | | |

Mining Subsidence District Data Source: © Land and Property Information (2016)
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Mining & Exploration Titles

7a-11 Racecourse Road and 32-50 Young Street, West Gosford, NSW 2250



Mining

7a-11 Racecourse Road and 32-50 Young Street, West Gosford, NSW 2250

Current Mining & Exploration Titles

Current Mining & Exploration Titles within the dataset buffer:

| Title Ref | Holder | Grant Date | Expiry Date | Last Renewed | Operation | Resource | Minerals | Dist | Dir |
|-----------|----------------------|------------|-------------|--------------|-----------|----------|----------|------|-----|
| N/A | No records in buffer | | | | | | | | |

Current Mining & Exploration Titles Data Source: © State of New South Wales through NSW Department of Industry

Current Mining & Exploration Title Applications

Current Mining & Exploration Title Applications within the dataset buffer:

| Application Ref | Applicant | Application Date | Operation | Resource | Minerals | Dist | Dir |
|-----------------|----------------------|------------------|-----------|----------|----------|------|-----|
| N/A | No records in buffer | | | | | | |

Current Mining & Exploration Title Applications Data Source: © State of New South Wales through NSW Department of Industry

Mining

7a-11 Racecourse Road and 32-50 Young Street, West Gosford, NSW 2250

Historical Mining & Exploration Titles

Historical Mining & Exploration Titles within the dataset buffer:

| Title Ref | Holder | Start Date | End Date | Resource | Minerals | Dist | Dir |
|-----------|--|------------|----------|-----------|------------|------|------------|
| PEL463 | DART ENERGY (APOLLO) PTY LTD | 20081022 | 20130227 | MINERALS | | 0m | On-site |
| PEL5 | AGL UPSTREAM INVESTMENTS PTY LIMITED | 19931111 | 20011210 | MINERALS | | 0m | On-site |
| EL0078 | CONTINENTAL OIL CO OF AUSTRALIA LIMITED | 19670201 | 19680201 | MINERALS | | 0m | On-site |
| PEL0102 | AUSTRALIAN OIL AND GAS CORPORATION LTD | | | PETROLEUM | Petroleum | 0m | On-site |
| PSPAUTH17 | MACQUARIE ENERGY PTY LTD | 20070803 | 20080703 | PETROLEUM | Petroleum | 0m | On-site |
| PEL0260 | NORTH BULLI COLLIERIES PTY LTD, AGL PETROLEUM OPERATIONS PTY LTD, THE AUSTRALIAN GAS LIGHT CO. | 19810909 | 19930803 | PETROLEUM | Petroleum | 0m | On-site |
| PEL0013 | AUSTRALIAN OIL AND GAS CORPORATION LTD | | | PETROLEUM | Petroleum | 0m | On-site |
| PEL0005 | AGL UPSTREAM INVESTMENTS PTY LIMITED | 19931111 | 20150403 | PETROLEUM | Petroleum | 0m | On-site |
| PEL0210 | THE AUSTRALIAN GAS LIGHT COMPANY (AGL), NORTH BULLI COLLIERIES PTY LTD | | | PETROLEUM | Petroleum | 0m | On-site |
| PEL0198 | JOHN STREVS (TERRIGAL) NL | | | PETROLEUM | Petroleum | 0m | On-site |
| PEL0279 | THE ELECTRICITY COMMISSION OF NSW (TRADING AS PACIFIC POWER) | 19910504 | 19931111 | PETROLEUM | Petroleum | 0m | On-site |
| PEL0191 | NORTHWEST OIL AND MINERALS CO NL | | | PETROLEUM | Petroleum | 0m | On-site |
| PEL0463 | DART ENERGY (APOLLO) PTY LTD | 20091010 | 20150603 | PETROLEUM | Petroleum | 0m | On-site |
| EL7510 | GRADIENT ENERGY LIMITED | 20100407 | 20110415 | MINERALS | Geothermal | 486m | North East |
| PEL2 | AGL UPSTREAM INVESTMENTS PTY LIMITED | 20000120 | 20001108 | MINERALS | | 486m | North |
| AUTH0255 | THE ELECTRICITY COMMISSION OF NSW (TRADING AS PACIFIC POWER) | 19810204 | 19910204 | COAL | Coal | 719m | North East |

Historical Mining & Exploration Titles Data Source: © State of New South Wales through NSW Department of Industry

State Environmental Planning Policy

7a-11 Racecourse Road and 32-50 Young Street, West Gosford, NSW 2250

State Significant Precincts

What SEPP State Significant Precincts exist within the dataset buffer?

| Map Id | Precinct | EPI Name | Published Date | Commenced Date | Currency Date | Amendment | Distance | Direction |
|--------|----------------------|----------|----------------|----------------|---------------|-----------|----------|-----------|
| N/A | No records in buffer | | | | | | | |

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EPI Planning Zones

7a-11 Racecourse Road and 32-50 Young Street, West Gosford, NSW 2250



Environmental Planning Instrument

7a-11 Racecourse Road and 32-50 Young Street, West Gosford, NSW 2250

Land Zoning

What EPI Land Zones exist within the dataset buffer?

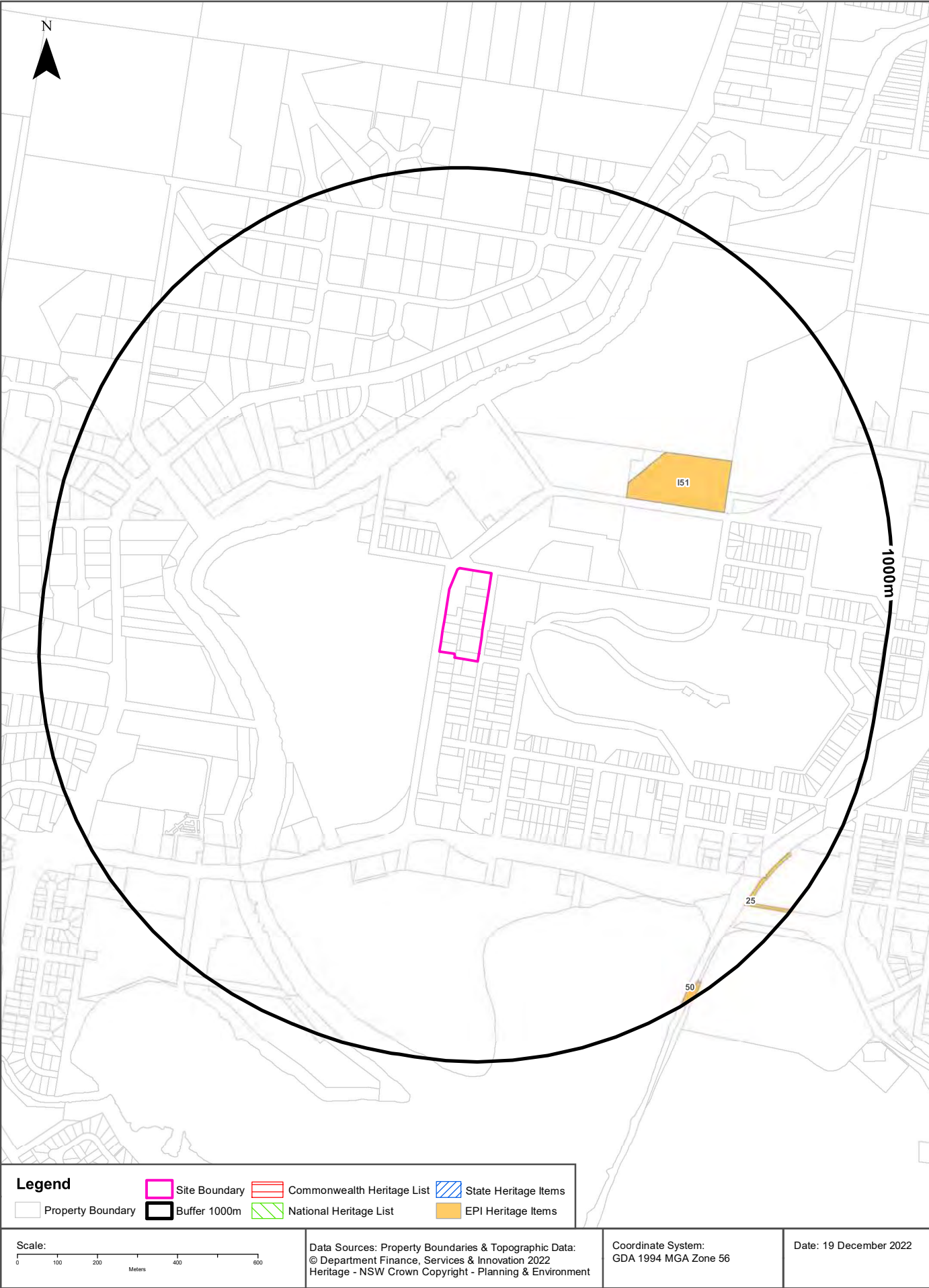
| Zone | Description | Purpose | EPI Name | Published Date | Commenced Date | Currency Date | Amendment | Distance | Direction |
|------|------------------------|---------------------------|---|----------------|----------------|---------------|-----------|----------|------------|
| B6 | Enterprise Corridor | | State Environmental Planning Policy (Precincts?Regional) 2021 | 02/12/2021 | 01/03/2022 | 01/03/2022 | | 0m | On-site |
| B5 | Business Development | | Central Coast Local Environmental Plan 2022 | 24/06/2022 | 01/08/2022 | 01/08/2022 | | 0m | North West |
| B6 | Enterprise Corridor | | Central Coast Local Environmental Plan 2022 | 24/06/2022 | 01/08/2022 | 01/08/2022 | | 0m | South West |
| RE2 | Private Recreation | | Central Coast Local Environmental Plan 2022 | 24/06/2022 | 01/08/2022 | 01/08/2022 | | 20m | West |
| R1 | General Residential | | State Environmental Planning Policy (Precincts?Regional) 2021 | 02/12/2021 | 01/03/2022 | 01/03/2022 | | 53m | South East |
| RE1 | Public Recreation | | Central Coast Local Environmental Plan 2022 | 24/06/2022 | 01/08/2022 | 01/08/2022 | | 85m | North East |
| RE1 | Public Recreation | | State Environmental Planning Policy (Precincts?Regional) 2021 | 02/12/2021 | 01/03/2022 | 01/03/2022 | | 124m | East |
| RE1 | Public Recreation | | State Environmental Planning Policy (Precincts?Regional) 2021 | 02/12/2021 | 01/03/2022 | 01/03/2022 | | 185m | North East |
| RE1 | Public Recreation | | Central Coast Local Environmental Plan 2022 | 24/06/2022 | 01/08/2022 | 01/08/2022 | | 275m | West |
| W2 | Recreational Waterways | | Central Coast Local Environmental Plan 2022 | 24/06/2022 | 01/08/2022 | 01/08/2022 | | 304m | South |
| B5 | Business Development | | Central Coast Local Environmental Plan 2022 | 24/06/2022 | 01/08/2022 | 01/08/2022 | | 335m | South West |
| RE1 | Public Recreation | | State Environmental Planning Policy (Precincts?Regional) 2021 | 02/12/2021 | 01/03/2022 | 01/03/2022 | | 353m | South |
| RE1 | Public Recreation | | Central Coast Local Environmental Plan 2022 | 24/06/2022 | 01/08/2022 | 01/08/2022 | | 364m | North West |
| SP2 | Infrastructure | Educational Establishment | Central Coast Local Environmental Plan 2022 | 24/06/2022 | 01/08/2022 | 01/08/2022 | | 375m | North East |
| IN1 | General Industrial | | Central Coast Local Environmental Plan 2022 | 24/06/2022 | 01/08/2022 | 01/08/2022 | | 395m | North West |
| SP2 | Infrastructure | Road | Central Coast Local Environmental Plan 2022 | 24/06/2022 | 01/08/2022 | 01/08/2022 | | 424m | South West |
| SP2 | Infrastructure | Road | State Environmental Planning Policy (Precincts?Regional) 2021 | 02/12/2021 | 01/03/2022 | 01/03/2022 | | 425m | South East |
| B6 | Enterprise Corridor | | State Environmental Planning Policy (Precincts?Regional) 2021 | 02/12/2021 | 01/03/2022 | 01/03/2022 | | 455m | South |
| B5 | Business Development | | Central Coast Local Environmental Plan 2022 | 24/06/2022 | 01/08/2022 | 01/08/2022 | | 460m | South West |
| RE1 | Public Recreation | | Central Coast Local Environmental Plan 2022 | 24/06/2022 | 01/08/2022 | 01/08/2022 | | 460m | South West |
| B5 | Business Development | | Central Coast Local Environmental Plan 2022 | 24/06/2022 | 01/08/2022 | 01/08/2022 | | 480m | South |
| RE1 | Public Recreation | | State Environmental Planning Policy (Precincts?Regional) 2021 | 02/12/2021 | 01/03/2022 | 01/03/2022 | | 487m | South |
| RE1 | Public Recreation | | Central Coast Local Environmental Plan 2022 | 24/06/2022 | 01/08/2022 | 01/08/2022 | | 493m | South |
| SP2 | Infrastructure | Road | Central Coast Local Environmental Plan 2022 | 24/06/2022 | 01/08/2022 | 01/08/2022 | | 494m | North West |
| IN1 | General Industrial | | Central Coast Local Environmental Plan 2022 | 24/06/2022 | 01/08/2022 | 01/08/2022 | | 520m | West |

| Zone | Description | Purpose | EPI Name | Published Date | Commenced Date | Currency Date | Amendment | Distance | Direction |
|------|----------------------------|------------------------------|---|----------------|----------------|---------------|-----------|----------|------------|
| IN1 | General Industrial | | Central Coast Local Environmental Plan 2022 | 24/06/2022 | 01/08/2022 | 01/08/2022 | | 532m | North West |
| RE1 | Public Recreation | | State Environmental Planning Policy (Precincts?Regional) 2021 | 02/12/2021 | 01/03/2022 | 01/03/2022 | | 599m | East |
| SP2 | Infrastructure | Health Services Facilities | State Environmental Planning Policy (Precincts?Regional) 2021 | 02/12/2021 | 01/03/2022 | 01/03/2022 | | 618m | East |
| B5 | Business Development | | Central Coast Local Environmental Plan 2022 | 24/06/2022 | 01/08/2022 | 01/08/2022 | | 690m | South West |
| SP2 | Infrastructure | Health Services Facilities | State Environmental Planning Policy (Precincts?Regional) 2021 | 02/12/2021 | 01/03/2022 | 01/03/2022 | | 707m | East |
| RE1 | Public Recreation | | Central Coast Local Environmental Plan 2022 | 24/06/2022 | 01/08/2022 | 01/08/2022 | | 752m | South West |
| B5 | Business Development | | Central Coast Local Environmental Plan 2022 | 24/06/2022 | 01/08/2022 | 01/08/2022 | | 775m | South West |
| RE1 | Public Recreation | | Central Coast Local Environmental Plan 2022 | 24/06/2022 | 01/08/2022 | 01/08/2022 | | 782m | North West |
| W2 | Recreational Waterways | | State Environmental Planning Policy (Precincts?Regional) 2021 | 02/12/2021 | 01/03/2022 | 01/03/2022 | | 807m | South East |
| SP2 | Infrastructure | Rail Infrastructure Facility | State Environmental Planning Policy (Precincts?Regional) 2021 | 02/12/2021 | 01/03/2022 | 01/03/2022 | | 807m | South East |
| R1 | General Residential | | Central Coast Local Environmental Plan 2022 | 24/06/2022 | 01/08/2022 | 01/08/2022 | | 858m | South West |
| C3 | Environmental Management | | Central Coast Local Environmental Plan 2022 | 24/06/2022 | 01/08/2022 | 01/08/2022 | | 874m | North East |
| RE1 | Public Recreation | | Central Coast Local Environmental Plan 2022 | 24/06/2022 | 01/08/2022 | 01/08/2022 | | 874m | North |
| RE1 | Public Recreation | | State Environmental Planning Policy (Precincts?Regional) 2021 | 02/12/2021 | 01/03/2022 | 01/03/2022 | | 894m | South East |
| SP2 | Infrastructure | Road | State Environmental Planning Policy (Precincts?Regional) 2021 | 02/12/2021 | 01/03/2022 | 01/03/2022 | | 901m | South East |
| W2 | Recreational Waterways | | State Environmental Planning Policy (Precincts?Regional) 2021 | 02/12/2021 | 01/03/2022 | 01/03/2022 | | 920m | South East |
| C2 | Environmental Conservation | | Central Coast Local Environmental Plan 2022 | 24/06/2022 | 01/08/2022 | 01/08/2022 | | 920m | North |
| RE1 | Public Recreation | | State Environmental Planning Policy (Precincts?Regional) 2021 | 02/12/2021 | 01/03/2022 | 01/03/2022 | | 927m | South East |
| RE1 | Public Recreation | | State Environmental Planning Policy (Precincts?Regional) 2021 | 02/12/2021 | 01/03/2022 | 01/03/2022 | | 954m | East |
| RE2 | Private Recreation | | Central Coast Local Environmental Plan 2022 | 24/06/2022 | 01/08/2022 | 01/08/2022 | | 963m | North East |
| B4 | Mixed Use | | State Environmental Planning Policy (Precincts?Regional) 2021 | 02/12/2021 | 01/03/2022 | 01/03/2022 | | 965m | South East |
| RE1 | Public Recreation | | Central Coast Local Environmental Plan 2022 | 24/06/2022 | 01/08/2022 | 01/08/2022 | | 973m | South |

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Heritage Items

7a-11 Racecourse Road and 32-50 Young Street, West Gosford, NSW 2250



Heritage

7a-11 Racecourse Road and 32-50 Young Street, West Gosford, NSW 2250

Commonwealth Heritage List

What are the Commonwealth Heritage List Items located within the dataset buffer?

| Place Id | Name | Address | Place File No | Class | Status | Register Date | Distance | Direction |
|----------|----------------------|---------|---------------|-------|--------|---------------|----------|-----------|
| N/A | No records in buffer | | | | | | | |

Heritage Data Source: Australian Government Department of the Environment and Energy - Heritage Branch
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National Heritage List

What are the National Heritage List Items located within the dataset buffer?

Note. Please click on Place Id to activate a hyperlink to online website.

| Place Id | Name | Address | Place File No | Class | Status | Register Date | Distance | Direction |
|----------|----------------------|---------|---------------|-------|--------|---------------|----------|-----------|
| N/A | No records in buffer | | | | | | | |

Heritage Data Source: Australian Government Department of the Environment and Energy - Heritage Branch
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State Heritage Register - Curtilages

What are the State Heritage Register Items located within the dataset buffer?

| Map Id | Name | Address | LGA | Listing Date | Listing No | Plan No | Distance | Direction |
|--------|----------------------|---------|-----|--------------|------------|---------|----------|-----------|
| N/A | No records in buffer | | | | | | | |

Heritage Data Source: NSW Crown Copyright - Office of Environment & Heritage
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Environmental Planning Instrument - Heritage

What are the EPI Heritage Items located within the dataset buffer?

| Map Id | Name | Classification | Significance | EPI Name | Published Date | Commenced Date | Currency Date | Distance | Direction |
|--------|---------------------------------------|----------------|--------------|---|----------------|----------------|---------------|----------|------------|
| I51 | Gosford State Forest Nursery | Item - General | Local | Central Coast Local Environmental Plan 2022 | 24/06/2022 | 01/08/2022 | 01/08/2022 | 386m | North East |
| 25 | Avenue and feature trees Grahame Park | Item - General | Local | State Environmental Planning Policy (Precincts?Regional) 2021 | 02/12/2021 | 01/03/2022 | 01/03/2022 | 893m | South East |
| 50 | Railway bridge and pylons | Item - General | Local | State Environmental Planning Policy (Precincts?Regional) 2021 | 02/12/2021 | 01/03/2022 | 01/03/2022 | 965m | South East |

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Natural Hazards - Bush Fire Prone Land

7a-11 Racecourse Road and 32-50 Young Street, West Gosford, NSW 2250



Natural Hazards

7a-11 Racecourse Road and 32-50 Young Street, West Gosford, NSW 2250

Bush Fire Prone Land

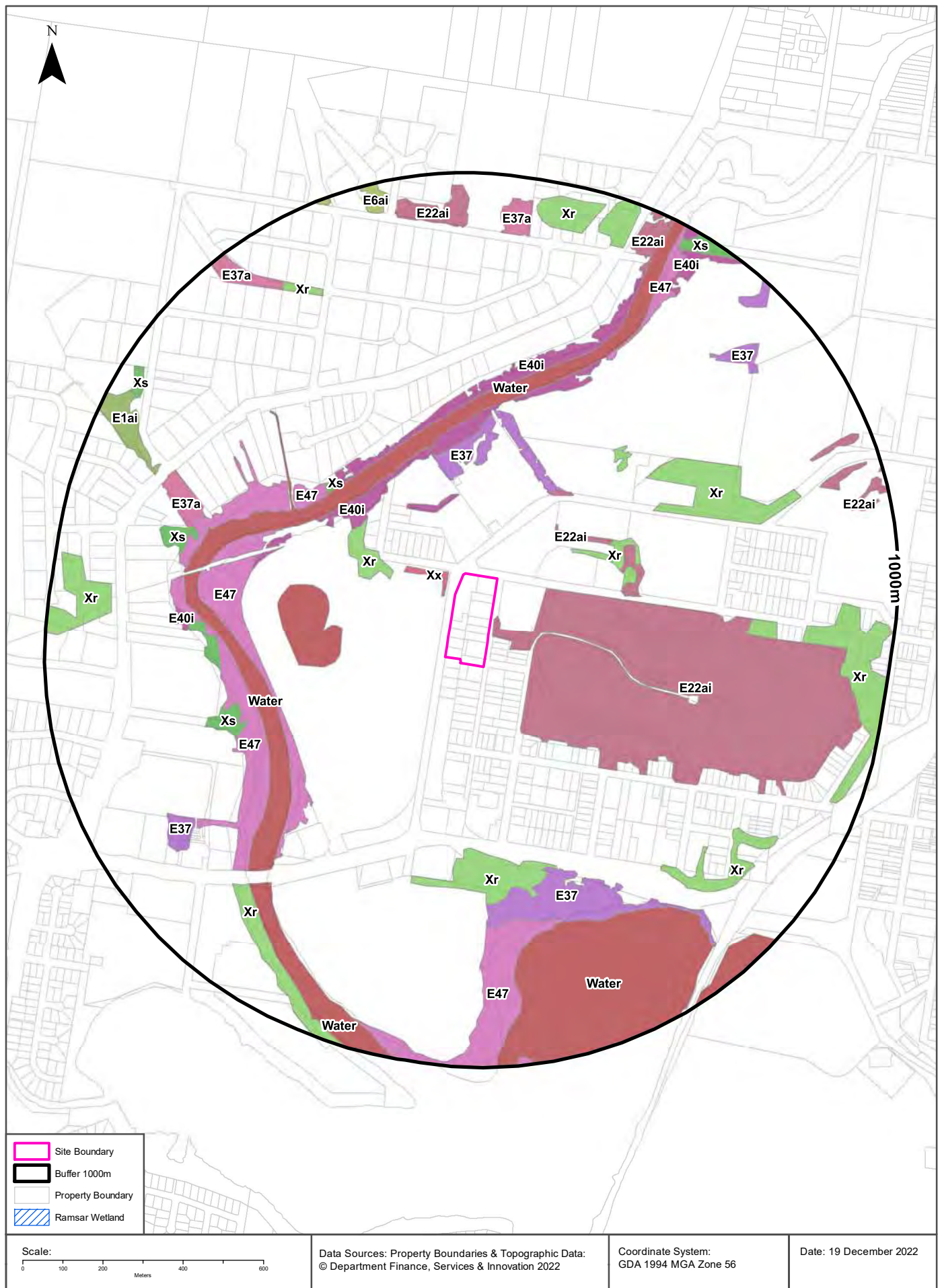
What are the nearest Bush Fire Prone Land Categories that exist within the dataset buffer?

| Bush Fire Prone Land Category | Distance | Direction |
|-------------------------------|----------|-----------|
| Vegetation Buffer | 0m | On-site |
| Vegetation Category 1 | 7m | East |

NSW Bush Fire Prone Land - © NSW Rural Fire Service under Creative Commons 4.0 International Licence

Ecological Constraints - Vegetation & Ramsar Wetlands

7a-11 Racecourse Road and 32-50 Young Street, West Gosford, NSW 2250



Ecological Constraints

7a-11 Racecourse Road and 32-50 Young Street, West Gosford, NSW 2250

Vegetation of Gosford LGA

What vegetation of Gosford LGA exists within the dataset buffer?

| Veg Class | Community | Keith Class | REMS Name | Key Species | EEC Equivalent | Myrtle Rust | Significance | Distance | Direction |
|-----------|--|--|---|---|---|-------------|-----------------------------------|----------|------------|
| E22ai | E22ai - Narrabeen Coastal Blackbutt Forest | Northern Hinterland Wet Sclerophyll Forests | Coastal Narrabeen Shrub Forest | E.pilularis S.glomulifera A.torulosa | | High | Regionally Significant Vegetation | 7m | East |
| Xx | Disturbed - exotic vegetation | | | various | | Low | | 26m | North West |
| Xr | Disturbed - Canopy Only | | | various | Individual site assessment required | Low | | 164m | North West |
| E40i | E40i - Estuarine Swamp Oak Forest | Coastal Floodplain Wetlands | Swamp Oak - Rushland Forest | C.glauca B.junceae | Swamp Oak Floodplain Forest EEC | Low | Endangered Ecological Communities | 169m | North |
| E37 | E37 - Swamp Mahogany - Paperbark Forest | Coastal Swamp Forests | Swamp Mahogany - Paperbark Forest | E.robusta M.linariifolia M.sieberi M.styphelioides E.resinifera | Swamp Sclerophyll Forest on Coastal Floodplains EEC | Extreme | Endangered Ecological Communities | 235m | North |
| Water | Water | | | | | Low | | 262m | West |
| Xs | Disturbed - Regrowth | | | various | Individual site assessment required | Low | | 379m | North West |
| E47 | E47 - Estuarine Mangrove Scrub | Mangrove Swamps | Mangrove Estuarine Complex | A.marina A.corniculatum | | Low | Regionally Significant Vegetation | 394m | North West |
| E37a | E37a - Alluvial Paperbark Sedge Forest | Coastal Swamp Forests | Swamp Mahogany - Paperbark Forest | E.robusta M.biconvexa C.salignus L.australis G.clarkei | Swamp Sclerophyll Forest on Coastal Floodplains EEC | Extreme | Endangered Ecological Communities | 650m | North West |
| E1ai | E1ai - Coastal Warm Temperate Rainforest | Northern Warm Temperate Rainforests/ Subtropical Rainforests | Coastal Warm Temperate - Subtropical Rainforest | A.smithii D.sassafras C.glaucescens C.apetalum E.saligna A.excelsa | Lowland Rainforest EEC (site-by-site assessment required) | Extreme | Endangered Ecological Communities | 801m | North West |
| E6ai | E6ai - Coastal Narrabeen Moist Forest | North Coast Wet Sclerophyll Forests | Coastal Narrabeen Moist Forest | E.saligna A.torulosa S.glomulifera E.acmenoides E.pilularis | | Extreme | | 925m | North |

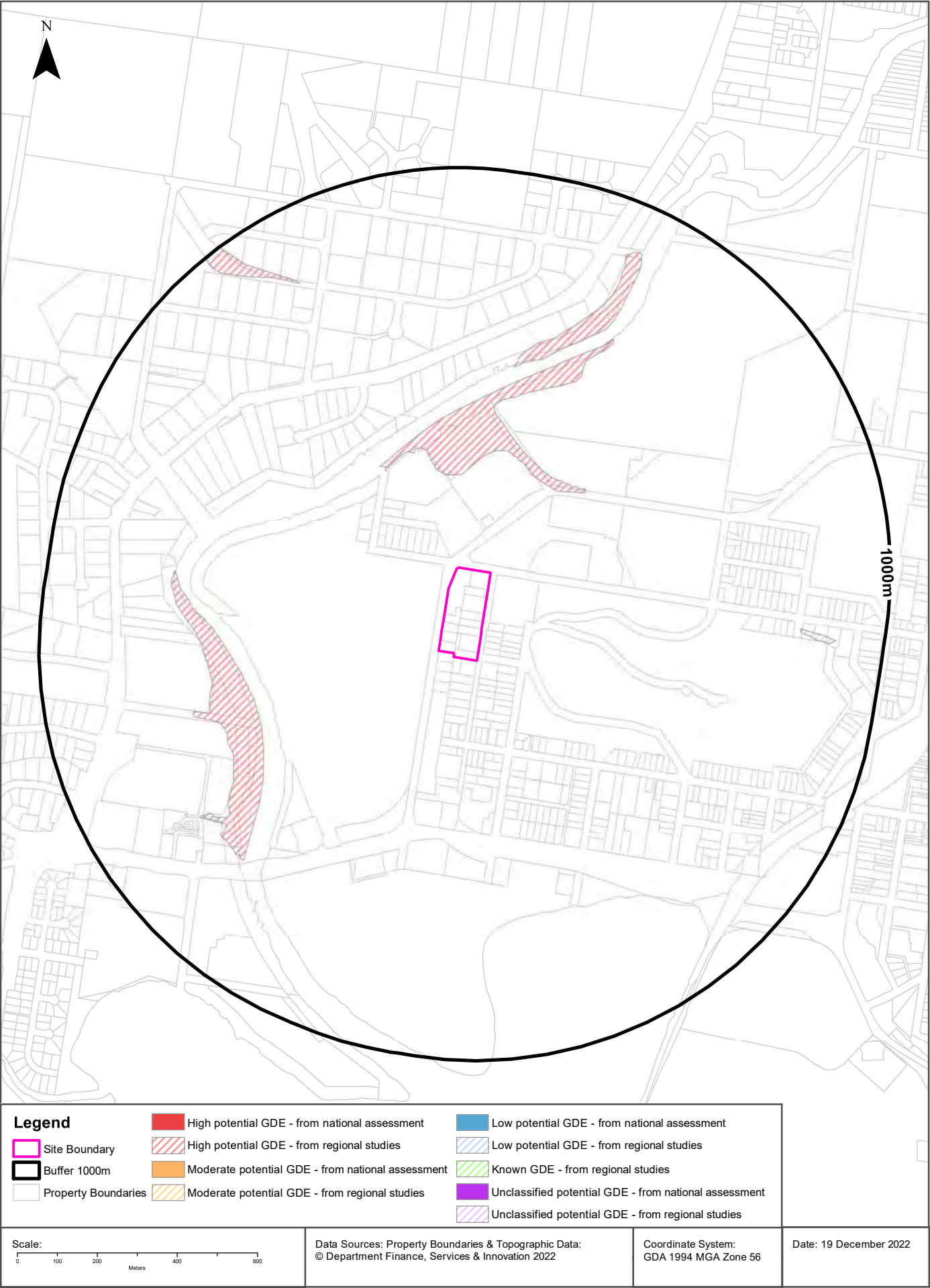
Vegetation of Gosford LGA: Council of the City of Gosford / NSW Office of Environment and Heritage

Ramsar Wetlands

What Ramsar Wetland areas exist within the dataset buffer?

| Map Id | Ramsar Name | Wetland Name | Designation Date | Source | Distance | Direction |
|--------|----------------------|--------------|------------------|--------|----------|-----------|
| N/A | No records in buffer | | | | | |

Ramsar Wetlands Data Source: © Commonwealth of Australia - Department of Agriculture, Water and the Environment



Ecological Constraints

7a-11 Racecourse Road and 32-50 Young Street, West Gosford, NSW 2250

Groundwater Dependent Ecosystems Atlas

| Type | GDE Potential | Geomorphology | Ecosystem Type | Aquifer Geology | Distance | Direction |
|-------------|--|--------------------------------------|----------------|-----------------|----------|-----------|
| Terrestrial | High potential GDE - from regional studies | Deeply dissected sandstone plateaus. | Vegetation | | 232m | North |
| Terrestrial | Low potential GDE - from regional studies | Deeply dissected sandstone plateaus. | Vegetation | | 785m | East |

Groundwater Dependent Ecosystems Atlas Data Source: The Bureau of Meteorology

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Ecological Constraints - Inflow Dependent Ecosystems Likelihood

7a-11 Racecourse Road and 32-50 Young Street, West Gosford, NSW 2250



Ecological Constraints

7a-11 Racecourse Road and 32-50 Young Street, West Gosford, NSW 2250

Inflow Dependent Ecosystems Likelihood

| Type | IDE Likelihood | Geomorphology | Ecosystem Type | Aquifer Geology | Distance | Direction |
|-------------|----------------|--|----------------|-----------------|----------|------------|
| Terrestrial | | 4 Deeply dissected sandstone plateaus. | Vegetation | | 232m | North |
| Terrestrial | | 1 Deeply dissected sandstone plateaus. | Vegetation | | 478m | South West |
| Terrestrial | | 2 Deeply dissected sandstone plateaus. | Vegetation | | 785m | East |
| Terrestrial | | 3 Deeply dissected sandstone plateaus. | Vegetation | | 815m | North West |

Inflow Dependent Ecosystems Likelihood Data Source: The Bureau of Meteorology

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Ecological Constraints

7a-11 Racecourse Road and 32-50 Young Street, West Gosford, NSW 2250

NSW BioNet Atlas

Species on the NSW BioNet Atlas that have a NSW or federal conservation status, a NSW sensitivity status, or are listed under a migratory species agreement, and are within 10km of the site?

| Kingdom | Class | Scientific | Common | NSW Conservation Status | NSW Sensitivity Class | Federal Conservation Status | Migratory Species Agreements |
|----------|----------|--------------------------------|--|-------------------------|-----------------------|-----------------------------|------------------------------|
| Animalia | Amphibia | Heleioporus australiacus | Giant Burrowing Frog | Vulnerable | Not Sensitive | Vulnerable | |
| Animalia | Amphibia | Litoria aurea | Green and Golden Bell Frog | Endangered | Not Sensitive | Vulnerable | |
| Animalia | Amphibia | Litoria brevipalmata | Green-thighed Frog | Vulnerable | Not Sensitive | Not Listed | |
| Animalia | Amphibia | Mixophyes balbus | Stuttering Frog | Endangered | Category 2 | Vulnerable | |
| Animalia | Amphibia | Mixophyes iteratus | Giant Barred Frog | Endangered | Category 2 | Endangered | |
| Animalia | Amphibia | Pseudophryne australis | Red-crowned Toadlet | Vulnerable | Not Sensitive | Not Listed | |
| Animalia | Aves | Actitis hypoleucos | Common Sandpiper | Not Listed | Not Sensitive | Not Listed | ROKAMBA;CAMBA; JAMBA |
| Animalia | Aves | Anthochaera phrygia | Regent Honeyeater | Critically Endangered | Not Sensitive | Critically Endangered | |
| Animalia | Aves | Apus pacificus | Fork-tailed Swift | Not Listed | Not Sensitive | Not Listed | ROKAMBA;CAMBA; JAMBA |
| Animalia | Aves | Ardenna carneipes | Flesh-footed Shearwater | Vulnerable | Not Sensitive | Not Listed | ROKAMBA;JAMBA |
| Animalia | Aves | Ardenna pacifica | Wedge-tailed Shearwater | Not Listed | Not Sensitive | Not Listed | JAMBA |
| Animalia | Aves | Ardenna tenuirostris | Short-tailed Shearwater | Not Listed | Not Sensitive | Not Listed | ROKAMBA;CAMBA; JAMBA |
| Animalia | Aves | Artamus cyanopterus | Dusky Woodswallow | Vulnerable | Not Sensitive | Not Listed | |
| Animalia | Aves | Burhinus grallarius | Bush Stone-curlew | Endangered | Not Sensitive | Not Listed | |
| Animalia | Aves | Calidris acuminata | Sharp-tailed Sandpiper | Not Listed | Not Sensitive | Not Listed | ROKAMBA;CAMBA; JAMBA |
| Animalia | Aves | Calidris canutus | Red Knot | Not Listed | Not Sensitive | Endangered | ROKAMBA;CAMBA; JAMBA |
| Animalia | Aves | Calidris ferruginea | Curlew Sandpiper | Endangered | Not Sensitive | Critically Endangered | ROKAMBA;CAMBA; JAMBA |
| Animalia | Aves | Calidris ruficollis | Red-necked Stint | Not Listed | Not Sensitive | Not Listed | ROKAMBA;CAMBA; JAMBA |
| Animalia | Aves | Calidris tenuirostris | Great Knot | Vulnerable | Not Sensitive | Critically Endangered | ROKAMBA;CAMBA; JAMBA |
| Animalia | Aves | Callocephalon fimbriatum | Gang-gang Cockatoo | Vulnerable | Category 3 | Endangered | |
| Animalia | Aves | Calyptorhynchus lathami | Glossy Black-Cockatoo | Vulnerable | Category 2 | Vulnerable | |
| Animalia | Aves | Certhionyx variegatus | Pied Honeyeater | Vulnerable | Not Sensitive | Not Listed | |
| Animalia | Aves | Charadrius leschenaultii | Greater Sand-plover | Vulnerable | Not Sensitive | Vulnerable | ROKAMBA;CAMBA; JAMBA |
| Animalia | Aves | Charadrius mongolus | Lesser Sand-plover | Vulnerable | Not Sensitive | Endangered | ROKAMBA;CAMBA; JAMBA |
| Animalia | Aves | Chthonicola sagittata | Speckled Warbler | Vulnerable | Not Sensitive | Not Listed | |
| Animalia | Aves | Circus assimilis | Spotted Harrier | Vulnerable | Not Sensitive | Not Listed | |
| Animalia | Aves | Climacteris picumnus victoriae | Brown Treecreeper (eastern subspecies) | Vulnerable | Not Sensitive | Not Listed | |

| Kingdom | Class | Scientific | Common | NSW Conservation Status | NSW Sensitivity Class | Federal Conservation Status | Migratory Species Agreements |
|----------|-------|------------------------------|---|-------------------------|-----------------------|-----------------------------|------------------------------|
| Animalia | Aves | Coracina lineata | Barred Cuckoo-shrike | Vulnerable | Not Sensitive | Not Listed | |
| Animalia | Aves | Cuculus optatus | Oriental Cuckoo | Not Listed | Not Sensitive | Not Listed | ROKAMBA;CAMBA; JAMBA |
| Animalia | Aves | Daphoenositta chrysoptera | Varied Sittella | Vulnerable | Not Sensitive | Not Listed | |
| Animalia | Aves | Ephippiorhynchus asiaticus | Black-necked Stork | Endangered | Not Sensitive | Not Listed | |
| Animalia | Aves | Epthianura albifrons | White-fronted Chat | Vulnerable | Not Sensitive | Not Listed | |
| Animalia | Aves | Falco subniger | Black Falcon | Vulnerable | Not Sensitive | Not Listed | |
| Animalia | Aves | Gallinago hardwickii | Latham's Snipe | Not Listed | Not Sensitive | Not Listed | ROKAMBA;JAMBA |
| Animalia | Aves | Glossopsitta pusilla | Little Lorikeet | Vulnerable | Not Sensitive | Not Listed | |
| Animalia | Aves | Grantiella picta | Painted Honeyeater | Vulnerable | Not Sensitive | Vulnerable | |
| Animalia | Aves | Haematopus fuliginosus | Sooty Oystercatcher | Vulnerable | Not Sensitive | Not Listed | |
| Animalia | Aves | Haematopus longirostris | Pied Oystercatcher | Endangered | Not Sensitive | Not Listed | |
| Animalia | Aves | Haliaeetus leucogaster | White-bellied Sea-Eagle | Vulnerable | Not Sensitive | Not Listed | |
| Animalia | Aves | Hamirostra melanosternon | Black-breasted Buzzard | Vulnerable | Category 3 | Not Listed | |
| Animalia | Aves | Hieraaetus morphnoides | Little Eagle | Vulnerable | Not Sensitive | Not Listed | |
| Animalia | Aves | Hirundapus caudacutus | White-throated Needletail | Not Listed | Not Sensitive | Vulnerable | ROKAMBA;CAMBA; JAMBA |
| Animalia | Aves | Hydroprogne caspia | Caspian Tern | Not Listed | Not Sensitive | Not Listed | JAMBA |
| Animalia | Aves | Irediparra gallinacea | Comb-crested Jacana | Vulnerable | Not Sensitive | Not Listed | |
| Animalia | Aves | Ixobrychus flavicollis | Black Bittern | Vulnerable | Not Sensitive | Not Listed | |
| Animalia | Aves | Lathamus discolor | Swift Parrot | Endangered | Not Sensitive | Critically Endangered | |
| Animalia | Aves | Limosa lapponica | Bar-tailed Godwit | Not Listed | Not Sensitive | Not Listed | ROKAMBA;CAMBA; JAMBA |
| Animalia | Aves | Limosa limosa | Black-tailed Godwit | Vulnerable | Not Sensitive | Not Listed | ROKAMBA;CAMBA; JAMBA |
| Animalia | Aves | Lophoictinia isura | Square-tailed Kite | Vulnerable | Category 3 | Not Listed | |
| Animalia | Aves | Macronectes giganteus | Southern Giant Petrel | Endangered | Not Sensitive | Endangered | |
| Animalia | Aves | Melithreptus gularis gularis | Black-chinned Honeyeater (eastern subspecies) | Vulnerable | Not Sensitive | Not Listed | |
| Animalia | Aves | Neophema pulchella | Turquoise Parrot | Vulnerable | Category 3 | Not Listed | |
| Animalia | Aves | Nettapus coromandelianus | Cotton Pygmy-Goose | Endangered | Not Sensitive | Not Listed | |
| Animalia | Aves | Ninox connivens | Barking Owl | Vulnerable | Category 3 | Not Listed | |
| Animalia | Aves | Ninox strenua | Powerful Owl | Vulnerable | Category 3 | Not Listed | |
| Animalia | Aves | Numenius madagascariensis | Eastern Curlew | Not Listed | Not Sensitive | Critically Endangered | ROKAMBA;CAMBA; JAMBA |
| Animalia | Aves | Numenius minutus | Little Curlew | Not Listed | Not Sensitive | Not Listed | ROKAMBA;CAMBA; JAMBA |
| Animalia | Aves | Numenius phaeopus | Whimbrel | Not Listed | Not Sensitive | Not Listed | ROKAMBA;CAMBA; JAMBA |
| Animalia | Aves | Onychoprion fuscata | Sooty Tern | Vulnerable | Not Sensitive | Not Listed | |
| Animalia | Aves | Pachycephala olivacea | Olive Whistler | Vulnerable | Not Sensitive | Not Listed | |

| Kingdom | Class | Scientific | Common | NSW Conservation Status | NSW Sensitivity Class | Federal Conservation Status | Migratory Species Agreements |
|----------|----------|------------------------------------|---|-------------------------|-----------------------|-----------------------------|------------------------------|
| Animalia | Aves | Pandion cristatus | Eastern Osprey | Vulnerable | Category 3 | Not Listed | |
| Animalia | Aves | Petroica boodang | Scarlet Robin | Vulnerable | Not Sensitive | Not Listed | |
| Animalia | Aves | Petroica phoenicea | Flame Robin | Vulnerable | Not Sensitive | Not Listed | |
| Animalia | Aves | Pluvialis fulva | Pacific Golden Plover | Not Listed | Not Sensitive | Not Listed | ROKAMBA;CAMBA; JAMBA |
| Animalia | Aves | Pluvialis squatarola | Grey Plover | Not Listed | Not Sensitive | Not Listed | ROKAMBA;CAMBA; JAMBA |
| Animalia | Aves | Pomatostomus temporalis temporalis | Grey-crowned Babbler (eastern subspecies) | Vulnerable | Not Sensitive | Not Listed | |
| Animalia | Aves | Pterodroma nigripennis | Black-winged Petrel | Vulnerable | Not Sensitive | Not Listed | |
| Animalia | Aves | Ptilinopus magnificus | Wompoo Fruit-Dove | Vulnerable | Not Sensitive | Not Listed | |
| Animalia | Aves | Ptilinopus superbus | Superb Fruit-Dove | Vulnerable | Not Sensitive | Not Listed | |
| Animalia | Aves | Sterna hirundo | Common Tern | Not Listed | Not Sensitive | Not Listed | ROKAMBA;CAMBA; JAMBA |
| Animalia | Aves | Sternula albifrons | Little Tern | Endangered | Not Sensitive | Not Listed | ROKAMBA;CAMBA; JAMBA |
| Animalia | Aves | Thalassarche cauta | Shy Albatross | Vulnerable | Not Sensitive | Vulnerable | |
| Animalia | Aves | Thalassarche chrysostoma | Grey-headed Albatross | Not Listed | Not Sensitive | Endangered | |
| Animalia | Aves | Thalasseus bergii | Crested Tern | Not Listed | Not Sensitive | Not Listed | JAMBA |
| Animalia | Aves | Todiramphus chloris | Collared Kingfisher | Vulnerable | Not Sensitive | Not Listed | |
| Animalia | Aves | Tringa brevipes | Grey-tailed Tattler | Not Listed | Not Sensitive | Not Listed | ROKAMBA;CAMBA; JAMBA |
| Animalia | Aves | Tringa glareola | Wood Sandpiper | Not Listed | Not Sensitive | Not Listed | ROKAMBA;CAMBA; JAMBA |
| Animalia | Aves | Tringa nebularia | Common Greenshank | Not Listed | Not Sensitive | Not Listed | ROKAMBA;CAMBA; JAMBA |
| Animalia | Aves | Tringa stagnatilis | Marsh Sandpiper | Not Listed | Not Sensitive | Not Listed | ROKAMBA;CAMBA; JAMBA |
| Animalia | Aves | Turnix maculosus | Red-backed Button-quail | Vulnerable | Not Sensitive | Not Listed | |
| Animalia | Aves | Tyto novaehollandiae | Masked Owl | Vulnerable | Category 3 | Not Listed | |
| Animalia | Aves | Tyto tenebricosa | Sooty Owl | Vulnerable | Category 3 | Not Listed | |
| Animalia | Aves | Xenus cinereus | Terek Sandpiper | Vulnerable | Not Sensitive | Not Listed | ROKAMBA;CAMBA; JAMBA |
| Animalia | Insecta | Petalura gigantea | Giant Dragonfly | Endangered | Not Sensitive | Not Listed | |
| Animalia | Mammalia | Cercartetus nanus | Eastern Pygmy-possum | Vulnerable | Not Sensitive | Not Listed | |
| Animalia | Mammalia | Chalinolobus dwyeri | Large-eared Pied Bat | Vulnerable | Not Sensitive | Vulnerable | |
| Animalia | Mammalia | Dasyurus maculatus | Spotted-tailed Quoll | Vulnerable | Not Sensitive | Endangered | |
| Animalia | Mammalia | Dasyurus viverrinus | Eastern Quoll | Endangered | Not Sensitive | Endangered | |
| Animalia | Mammalia | Dugong dugon | Dugong | Endangered | Not Sensitive | Not Listed | |
| Animalia | Mammalia | Falsistrellus tasmaniensis | Eastern False Pipistrelle | Vulnerable | Not Sensitive | Not Listed | |
| Animalia | Mammalia | Isodon obesulus obesulus | Southern Brown Bandicoot (eastern) | Endangered | Not Sensitive | Endangered | |
| Animalia | Mammalia | Macropus parma | Parma Wallaby | Vulnerable | Not Sensitive | Not Listed | |
| Animalia | Mammalia | Micronomus norfolkensis | Eastern Coastal Free-tailed Bat | Vulnerable | Not Sensitive | Not Listed | |
| Animalia | Mammalia | Miniopterus australis | Little Bent-winged Bat | Vulnerable | Not Sensitive | Not Listed | |

| Kingdom | Class | Scientific | Common | NSW Conservation Status | NSW Sensitivity Class | Federal Conservation Status | Migratory Species Agreements |
|----------|----------|--|--------------------------------|-------------------------|-----------------------|-----------------------------|------------------------------|
| Animalia | Mammalia | Miniopterus orianae oceanensis | Large Bent-winged Bat | Vulnerable | Not Sensitive | Not Listed | |
| Animalia | Mammalia | Myotis macropus | Southern Myotis | Vulnerable | Not Sensitive | Not Listed | |
| Animalia | Mammalia | Nyctophilus bifax | Eastern Long-eared Bat | Vulnerable | Not Sensitive | Not Listed | |
| Animalia | Mammalia | Petauroides volans | Greater Glider | Endangered | Not Sensitive | Endangered | |
| Animalia | Mammalia | Petaurus australis | Yellow-bellied Glider | Vulnerable | Not Sensitive | Vulnerable | |
| Animalia | Mammalia | Petaurus australis | Yellow-bellied Glider | Vulnerable | Not Sensitive | Not Listed | |
| Animalia | Mammalia | Petaurus norfolcensis | Squirrel Glider | Vulnerable | Not Sensitive | Not Listed | |
| Animalia | Mammalia | Phascogale carolinensis | Koala | Endangered | Not Sensitive | Endangered | |
| Animalia | Mammalia | Phoniscus papuensis | Golden-tipped Bat | Vulnerable | Not Sensitive | Not Listed | |
| Animalia | Mammalia | Potorous tridactylus | Long-nosed Potoroo | Vulnerable | Not Sensitive | Vulnerable | |
| Animalia | Mammalia | Pseudomys gracilicaudatus | Eastern Chestnut Mouse | Vulnerable | Not Sensitive | Not Listed | |
| Animalia | Mammalia | Pteropus poliocephalus | Grey-headed Flying-fox | Vulnerable | Not Sensitive | Vulnerable | |
| Animalia | Mammalia | Saccolaimus flaviventris | Yellow-bellied Sheath-tail-bat | Vulnerable | Not Sensitive | Not Listed | |
| Animalia | Mammalia | Scoteanax rueppellii | Greater Broad-nosed Bat | Vulnerable | Not Sensitive | Not Listed | |
| Animalia | Mammalia | Vespertilio macrotis | Eastern Cave Bat | Vulnerable | Not Sensitive | Not Listed | |
| Animalia | Reptilia | Antaresia stimsoni | Stimson's Python | Vulnerable | Not Sensitive | Not Listed | |
| Animalia | Reptilia | Caretta caretta | Loggerhead Turtle | Endangered | Not Sensitive | Endangered | |
| Animalia | Reptilia | Chelonia mydas | Green Turtle | Vulnerable | Not Sensitive | Vulnerable | |
| Animalia | Reptilia | Eretmochelys imbricata | Hawksbill Turtle | Not Listed | Not Sensitive | Vulnerable | |
| Animalia | Reptilia | Hoplocephalus bitorquatus | Pale-headed Snake | Vulnerable | Not Sensitive | Not Listed | |
| Animalia | Reptilia | Hoplocephalus bungaroides | Broad-headed Snake | Endangered | Category 2 | Vulnerable | |
| Animalia | Reptilia | Hoplocephalus stephensi | Stephens' Banded Snake | Vulnerable | Not Sensitive | Not Listed | |
| Animalia | Reptilia | Varanus rosenbergi | Rosenberg's Goanna | Vulnerable | Not Sensitive | Not Listed | |
| Plantae | Flora | Acacia bynoeana | Bynoe's Wattle | Endangered | Not Sensitive | Vulnerable | |
| Plantae | Flora | Acacia pubescens | Downy Wattle | Vulnerable | Not Sensitive | Vulnerable | |
| Plantae | Flora | Ancistrachne maidenii | | Vulnerable | Not Sensitive | Not Listed | |
| Plantae | Flora | Baloskion longipes | Dense Cord-rush | Vulnerable | Not Sensitive | Vulnerable | |
| Plantae | Flora | Callistemon linearifolius | Netted Bottle Brush | Vulnerable | Category 3 | Not Listed | |
| Plantae | Flora | Chamaesyce psammogeton | Sand Spurge | Endangered | Not Sensitive | Not Listed | |
| Plantae | Flora | Cryptostylis hunteriana | Leafless Tongue Orchid | Vulnerable | Category 2 | Vulnerable | |
| Plantae | Flora | Darwinia glaucophylla | | Vulnerable | Not Sensitive | Not Listed | |
| Plantae | Flora | Dendrobium melaleucaphilum | Spider orchid | Endangered | Category 2 | Not Listed | |
| Plantae | Flora | Diuris bracteata | | Endangered | Category 2 | Extinct | |
| Plantae | Flora | Epacris purpurascens var. purpurascens | | Vulnerable | Not Sensitive | Not Listed | |

| Kingdom | Class | Scientific | Common | NSW Conservation Status | NSW Sensitivity Class | Federal Conservation Status | Migratory Species Agreements |
|---------|-------|-------------------------------|--------------------------------|-------------------------|-----------------------|-----------------------------|------------------------------|
| Plantae | Flora | <i>Eucalyptus camfieldii</i> | Camfield's Stringybark | Vulnerable | Not Sensitive | Vulnerable | |
| Plantae | Flora | <i>Eucalyptus glaucina</i> | Slaty Red Gum | Vulnerable | Not Sensitive | Vulnerable | |
| Plantae | Flora | <i>Eucalyptus nicholii</i> | Narrow-leaved Black Peppermint | Vulnerable | Not Sensitive | Vulnerable | |
| Plantae | Flora | <i>Eucalyptus scoparia</i> | Wallangarra White Gum | Endangered | Not Sensitive | Vulnerable | |
| Plantae | Flora | <i>Grammitis stenophylla</i> | Narrow-leaf Finger Fern | Endangered | Category 3 | Not Listed | |
| Plantae | Flora | <i>Grevillea shiressii</i> | | Vulnerable | Not Sensitive | Vulnerable | |
| Plantae | Flora | <i>Hibbertia procumbens</i> | Spreading Guinea Flower | Endangered | Not Sensitive | Not Listed | |
| Plantae | Flora | <i>Hibbertia puberula</i> | | Endangered | Not Sensitive | Not Listed | |
| Plantae | Flora | <i>Lindsaea fraseri</i> | Fraser's Screw Fern | Endangered | Category 3 | Not Listed | |
| Plantae | Flora | <i>Macadamia tetraphylla</i> | Rough-shelled Bush Nut | Vulnerable | Not Sensitive | Vulnerable | |
| Plantae | Flora | <i>Melaleuca biconvexa</i> | Biconvex Paperbark | Vulnerable | Not Sensitive | Vulnerable | |
| Plantae | Flora | <i>Melaleuca deanei</i> | Deane's Paperbark | Vulnerable | Not Sensitive | Vulnerable | |
| Plantae | Flora | <i>Persoonia hirsuta</i> | Hairy Geebung | Endangered | Category 3 | Endangered | |
| Plantae | Flora | <i>Prostanthera askania</i> | Tranquility Mintbush | Endangered | Not Sensitive | Endangered | |
| Plantae | Flora | <i>Prostanthera junonis</i> | Somersby Mintbush | Endangered | Not Sensitive | Endangered | |
| Plantae | Flora | <i>Rhodamnia rubescens</i> | Scrub Turpentine | Critically Endangered | Not Sensitive | Critically Endangered | |
| Plantae | Flora | <i>Rhodomyrtus psidioides</i> | Native Guava | Critically Endangered | Not Sensitive | Critically Endangered | |
| Plantae | Flora | <i>Syzygium hodgkinsoniae</i> | Red Lilly Pilly | Vulnerable | Not Sensitive | Vulnerable | |
| Plantae | Flora | <i>Syzygium paniculatum</i> | Magenta Lilly Pilly | Endangered | Not Sensitive | Vulnerable | |
| Plantae | Flora | <i>Tetratheca glandulosa</i> | | Vulnerable | Not Sensitive | Not Listed | |
| Plantae | Flora | <i>Tetratheca juncea</i> | Black-eyed Susan | Vulnerable | Not Sensitive | Vulnerable | |
| Plantae | Flora | <i>Tylophora woollsii</i> | Cryptic Forest Twiner | Endangered | Not Sensitive | Endangered | |

Data does not include NSW category 1 sensitive species.

NSW BioNet: © State of NSW and Office of Environment and Heritage

Location Confidences

Where Lotsearch has had to georeference features from supplied addresses, a location confidence has been assigned to the data record. This indicates a confidence to the positional accuracy of the feature. Where applicable, a code is given under the field heading “LC” or “LocConf”. These codes lookup to the following location confidences:

| LC Code | Location Confidence |
|---------------------|--|
| Premise Match | Georeferenced to the site location / premise or part of site |
| Area Match | Georeferenced to an approximate or general area |
| Road Match | Georeferenced to a road or rail corridor |
| Road Intersection | Georeferenced to a road intersection |
| Buffered Point | A point feature buffered to x metres |
| Adjacent Match | Land adjacent to a georeferenced feature |
| Network of Features | Georeferenced to a network of features |
| Suburb Match | Georeferenced to a suburb boundary |
| As Supplied | Spatial data supplied by provider |

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 8. To the extent permitted by law and subject to paragraph 9, all implied terms, representations and warranties whether statutory or otherwise relating to the subject matter of these Terms other than as expressly set out in these Terms are excluded.
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 - (b) any loss of profit, loss of revenue, loss of interest, loss of data, loss of goodwill or loss of business opportunities, business interruption arising directly or indirectly out of or in relation to the Report or these Terms,
 irrespective of how that liability arises including in contract or tort, liability under indemnity or for any other common law, equitable or statutory cause of action or otherwise.
 12. These Terms are subject to New South Wales law.

APPENDIX D

Relevant Documents

35/003855



VOL

35-003855-3

1

N.S.W. GOVERNMENT DEPARTMENT OF INDUSTRIAL RELATIONS
DANGEROUS GOODS BRANCH

4595

3566

ROBSON EXCAVATIONS P/L

RACECOURSE RD.

WCA - Unclassified

Recfind File

35/003855

WorkCover Authority of NSW

Custodian Licensing Unit - OHS
Created 1/01/1975

HEALTH & SAFETY MANAGEMENT - LICENSING - Dangerous Goods Keeping
 Licence 35/003855 - West Gosford, Racecourse Rd

KEEPING LICENCE

INSPECTION DISTRICT NO.

FILE SCANNED

DATE

BY

DISK NAME

29-10-91

BT.

DGSA



35/003855

DISPOSAL DATE

35-003855-3

1

LICENCE NO.

VOL

2002

Closed 30/5

2002

MINUTE SHEET

[illegible]



CLOSED FILE 2002

Occupier: ROBSON EXCAVATIONS P/L

Site:

RACECOURSE RD,
WEST GOSFORD 2250

32002/01855
Telephone (02) 4954 7177
Telephone (02) 4954 7377
Fax (02) 4954 6527

P.O. BOX 41,
CARDIFF, 2285
NEWCASTLE

HODGE PETROLEUM INSTALLATIONS PTY. LTD.

A.C.N. 002 090 315
A.B.N. 84 475 060 477

CNR PENNANT ST & BELFORD PLACE
CARDIFF, N.S.W. 2285.

All Industrial and Commercial Installations
and Maintenance of Petroleum Equipment

CONTRACTORS CERTIFICATE UNDERGROUND TANKS

This is to certify that pursuant to clause 138 of Dangerous Goods Regulations 1978, the following tanks have been abandoned.

Method of abandonment was to remove all inflammable liquid from tanks and remove from site.

NAME & ADDRESS OF PREMISES:

008 430 939
Robson Excavations
Racecourse Rd.,
GOSFORD NSW 2250

TANKS ABANDONED:


2 x 10,000 litre underground tanks

Please forward copy of this certificate to:

Workcover Authority
Dangerous Goods Section
Locked Mail Bag
10 Clarence Street
SYDNEY 2001

Ph: 02 9370 5948

Fax: 02 9370 6105

Signature: 

Date : 1 August 2001

35/003-855

ATF



NEW SOUTH WALES

ORIGINAL

NOTICE TO OCCUPIER OR LICENCEE

DEPARTMENT OF INDUSTRIAL RELATIONS

OCCUPIER/LICENCEE Personal Exemptions

DANGEROUS GOODS ACT, 1975

ADDRESS Rosecress Rd
LawfordLICENCE No. 35-003855-3

TAKE NOTICE THAT THE FOLLOWING DIRECTIONS MUST BE CARRIED OUT TO COMPLY
WITH THE DANGEROUS GOODS ACT. THIS NOTICE IS TO BE SIGNED
AND RETURNED IMMEDIATELY AFTER THE DIRECTIONS HAVE BEEN CARRIED OUT.

TIME ALLOWED TO COMPLY 20 DAYS.

- ☐ Attached Form to be completed and forwarded to address shown with Fee of \$
- ☐ Forward Fee of \$ _____ for Licence renewal.
- ☒ A Notice 'STOP ENGINE NO SMOKING' to be displayed near all petrol dispensers. *
- ☐ Provide _____ 9 kg Dry Chemical fire extinguishers.
- ☐ Fire extinguishers to be serviced every 6 months and service tag attached.
- ☐ A Notice 'DANGER NO SMOKING' to be exhibited near depot.
- ☐ Comply with following or attached instructions:

Nothing in this Notice shall be regarded as in any way relieving the occupier of any premises from full compliance with any of the provisions of the said Act and Regulations.

INSPECTOR [Signature]DATE 22.10.85DISTRICT OFFICE [Signature]

*See reverse side for address

THE ABOVE DIRECTIONS HAVE BEEN
CARRIED OUT.SIGNED [Signature]DATE 18/11/85

METROPOLITAN

Sydney: ~~1 Oxford Street, Darlinghurst, 2010~~
Parramatta: Westfield Centre, Church Street, 2150

~~3397 539~~
~~266 8632~~

635 4188

635 4032

COUNTRY

Lismore: Cnr. Woodlark & Keen Streets, 2480

(066) 21 1701

Ext. 649

~~Newcastle: 741 Hunter Street, Newcastle West, 2302~~

~~(049) 69 4011~~

Wagga Wagga: 72 - 78 Morgan Street, 2650

(069) 23 0692

Wollongong: C.M.L. Building, 223 Crown Street, 2500

(042) 29 2199

29 2822

TYPE OF PREMISES _____

DATE OF VISIT _____

TAKE NOTICE THAT THE FOLLOWING DIRECTIONS MUST BE CARRIED OUT TO COMPLY

WITH THE DANGEROUS GOODS ACT, THIS NOTICE IS TO BE SIGNED

AND RETURNED IMMEDIATELY AFTER THE DIRECTIONS HAVE BEEN CARRIED OUT.

TIME ALLOWED TO COMPLY _____ DAYS.

SIGNED _____
DATE _____

INSPECTOR _____
DATE _____
DISTRICT OFFICER _____
* See reverse side for address



FORM B

INFLAMMABLE LIQUID ACT, 1915

APPLICANT FOR:

REGISTRATION OF PREMISES
STORE LICENCE
AMENDMENT TO REGISTRATION OR LICENCEFOR THE KEEPING OF
INFLAMMABLE LIQUID
AND/OR DANGEROUS GOODS.

10

| | | |
|--|---|-----------------------|
| Name of Occupier in full | Robson Excavations Pty Ltd (Surname/s) | (First Names in full) |
| Trading Name (if any) | | |
| Postal Address | Box 167, P.O., GOSFORD | Postcode 2250 |
| Address of the premises in which the depot or depots are situated | Racecourse Road, GOSFORD | Postcode 2250 |
| Occupation | | |
| Nature of Premises | garage | |

Particulars of construction of depots and maximum quantities of inflammable liquid and/or dangerous goods to be kept at any one time.

PLEASE SKETCH SITE ON BACK OR ATTACH PLAN

| Tank or Depot Number | Construction of depots * | | | Inflammable Liquid | | Dangerous Goods | | | | | | |
|-------------------------------|--------------------------|------|-------|-----------------------------|--------------------------|----------------------|----------------------|------------------|------------------------------|-----------------------|-----------------------|----------------------|
| | Walls | Roof | Floor | Mineral spirit litres | Mineral oil litres | Class 1 litres | Class 2 litres | Class 3 kg | Class 4 m ³ | Class 5A litres | Class 5B litres | Class 9 litres |
| 1 | underground tank | | | 10000 | | | | | | | | |
| 2 | | | | | | | | | | | | |
| 3 | | | | | | | | | | | | |
| 4 | | | | | | | | | | | | |
| 5 | | | | | | | | | | | | |
| 6 | | | | | | | | | | | | |
| 7 | | | | | | | | | | | | |
| 8 | | | | | | | | | | | | |
| 9 | | | | | | | | | | | | |
| 10 | | | | | | | | | | | | |
| TOTAL | | | | | | | | | | | | |

* If kept in tanks describe depots as underground or aboveground tanks.

Insert water capacity of tanks or cylinders.

Name of Company supplying inflammable liquid ShellHave premises previously been licensed? Licence No. 3855-10If known, state name of previous occupier RN Robson (Gosford) P/LSignature of applicant [Signature] Date 23/9/77PUBLIC REVENUE A/C
CHQ 12.00
23/9/77
8978
(Date)
Receipt No.

FOR OFFICE USE ONLY:

EFE see notation herein

CERTIFICATE OF INSPECTION

I, [Signature] being an Inspector under the Inflammable Liquid Act, 1915, do hereby certify that the premises or store described above does comply with the requirements of that Act and regulations with regard to its situation and construction for the keeping of inflammable liquid and/or dangerous goods in quantity and nature specified.

Dangerous Goods Branch
Box 846, P.O.
DARLINGHURST 2010
(6th Floor, 1 Oxford
Street, Sydney)

Signature of Inspector [Signature]Date 12.6.80

Make rough sketch of ground layout of premises showing position of depot or depots and adjacent buildings, also distances separating depots and buildings. If space insufficient, attach separate plan.

EXPLANATORY NOTES

NAME IN FULL OF OCCUPIER/S Full name(s) of occupier(s) must be given. Trading name (if any) should also be shown.

NATURE OF PREMISES State whether premises comprise of dwelling, service station, depot, etc.

CONSTRUCTION OF DEPOT - If storage is in an aboveground depot indicate the material of which the depot is constructed, e.g., brick, steel, concrete, and then the amount of inflammable liquid or dangerous goods and the type being stored, e.g., mineral spirit, kerosene, acetone, etc.

If storage is within underground or aboveground tanks, indicate the quantities and type of liquid or goods being stored in each tank. Also the capacity of each individual tank. Attach separate list, if space insufficient.

The completed form should be forwarded to:

Chief Inspector of
Dangerous Goods,
Box 846, P.O.,
DARLINGHURST 2010

LICENCE NUMBER 35003855.3

Robson Excavations P/L.
Box 167 P.O.
Gosford. 2250.

15th October 1981.

~~FEE PAYABLE~~, \$ 10.00

paid
receipt no. 9028
12/12/79.

Trading Name:

Location of Premises: Rosecource Rd, West Gosford, 2250.

Nature of Premises: garage

Particulars of Construction of Depots and Maximum Quantities of Dangerous Goods to be kept at any one time—

ST 435 D. WEST. GOVERNMENT PRINTER

**Dangerous Goods Branch,
Box 846, P.O.
DARLINGHURST 2010
(6th Floor, 1 Oxford Street)**

H. N. BLACKMORE,
Chief Inspector of
Dangerous Goods



INFLAMMABLE LIQUID ACT, 1915 (AS AMENDED)

Application for Registration of Premises or Store License under Division A or for the transfer, alteration or amendment of any such Registration or License, for the keeping of Inflammable Liquid and/or Dangerous Goods, in accordance with the provisions of the Inflammable Liquid Act, 1915 (as amended), for the ensuing year.

EXPLANATORY

Inflammable Liquid—

Mineral Oil—includes kerosene, mineral turpentine and white spirit (for cleaning), and compositions containing same.
Mineral Spirit—includes petrol, benzene, benzolene, benzol and naphtha, and compositions containing same.

Dangerous Goods—

Class 1.—Acetone, amyl acetate, butyl acetate, carbon bisulphide; any combination of substances of an inflammable character suitable for use as an industrial solvent and having a true flashing point of less than 73 degrees Fahrenheit.

Class 2.—Nitro-cellulose (also known as "pyroxylin" and "collodion cotton") moistened with an alcohol, butyl alcohol (also known as "butanol"), methylated spirits, vegetable turpentine; and any liquid or solid containing inflammable spirits, having a true flashing point of less than 150 degrees Fahrenheit.

Class 3.—Nitro-cellulose product.

Class 4.—Compressed or dissolved acetylene contained in a porous substance.

DIRECTIONS

1. Applications must be forwarded to the Chief Inspector of Inflammable Liquid, Explosives Department, No. 16 Grosvenor Street, Sydney (Box 48, G.P.O.), and must be accompanied by the prescribed fee, as set out hereunder:—

Registration of Premises (Fee £1 10s. 0d. p.a.).—For quantities not exceeding 300 gallons of mineral oil and 100 gallons of mineral spirit, if kept together; or 800 gallons of mineral oil and 100 gallons of mineral spirit, if kept in separate depots; or 500 gallons of mineral spirit, if kept in an underground tank depot; or 800 gallons of mineral oil and 500 gallons of mineral spirit, if mineral spirit is kept in an underground tank depot.

In addition to, or in lieu of the above, similar quantities of Dangerous Goods of Classes 1 and 2 may be kept under the like conditions; reading Dangerous Goods of Class 1 for the words Mineral Spirit and Dangerous Goods of Class 2 for the words Mineral Oil.

Store License, Div. A (Fee, £3 5s. 0d. p.a.).—For quantities in excess of those stated above, but not exceeding 4,000 gallons mineral oil and/or mineral spirit, and/or Dangerous Goods of Classes 1 and 2.

Store License, Div. B (Fees, See Regulation 7).—For quantities exceeding 4,000 gallons of mineral and/or mineral spirit, and/or dangerous goods of Classes 1 and 2, and/or dangerous goods of Class 3.

For the keeping of Dangerous Goods of Classes 3 and/or 4. (£7 10s. 0d. p.a.).

2. The certificate of inspection at foot hereof must be signed by an Inspector under the Inflammable Liquid Act, 1915 (as amended), or Police Officer, or other officer duly authorised in that behalf, and where the premises are situated outside the Metropolitan Area of Sydney, it is requested that such certificate be obtained prior to forwarding application.

1. Name in full of occupier

R. N. ROBSON (GOSFORD) PTY. LTD.

2. Occupation

Earthmoving contractors

3. Locality of the premises in which the depot or depots are situated

No. or Name

CNR. FAUNCE & NARARA STS (MARINE ST)

Street

Town

GOSFORD

Garage & offices

Yeo

4. Nature of premises (Dwelling, Garage, Store, etc.)

5. Will mineral spirit be kept in a prescribed underground tank depot?

6. Particulars of construction of depots and maximum quantities of inflammable liquid and/or Dangerous Goods to be kept at any one time.

| Depot No. | Construction of Depots | | | Inflammable Liquid | | Dangerous Goods | | | |
|-----------|----------------------------|------|-------|------------------------|---------------------|--------------------------|-----------------|-------------|------------------|
| | Walls | Roof | Floor | Mineral Spirit Gallons | Mineral Oil Gallons | Class 1 Gallons | Class 2 Gallons | Class 3 lb. | Class 4 cub. ft. |
| 1 | Underground Tank | | | 2000 | | (2000 Distillate Exempt) | | | |
| 2 | | | | | | | | | |
| 3 | | | | | | | | | |
| 4 | | | | | | | | | |
| 5 | | | | | | | | | |
| 6 | | | | | | | | | |
| 7 | | | | | | | | | |
| 8 | | | | | | | | | |
| 9 | DATE OF FIRST FILL 30/9/60 | | | | | | | | |
| 10 | DATE OF FIRST FILL | | | | | | | | |

Public Revenue Account

(Date) 5-12-60

Receipt No. 0755

R. N. ROBSON (GOSFORD) PTY. LTD.

Signature of Applicant

R. N. Robson

Date of Application

17/11/60

1960

Postal Address

Cnr. Faunce & Narara Sts
West. Gosford.

CERTIFICATE OF INSPECTION

I, Albert M Jones being an Inspector under the Inflammable Liquid Act, 1915 (as amended), do hereby certify that the premises or store herein referred to and described is suitable with regard to its situation and construction for the safe keeping of inflammable liquid and/or dangerous goods in quantity and nature specified.

Place

Date

Gosford
18-11-60

Signature of Inspector

A M Jones Sgtd

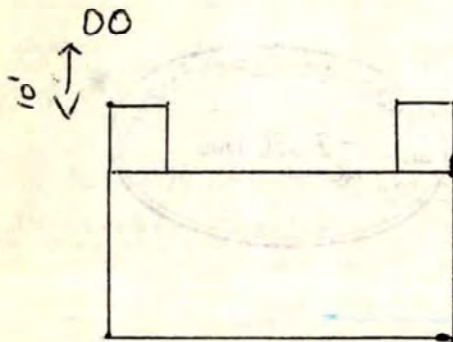
(PLEASE TURN OVER)

Make Rough Sketches showing—

Ground plans of premises showing position of depot or depots and adjacent buildings, also distances separating depots and buildings.

Sketch of depot or depots showing provision made for venting also inside dimensions (length, width, and depth) of the upper or lower portion, designed to prevent outflow.

This sketch is not required for underground tanks.



TABLES SHOWING DISTANCES WHICH UNDER LICENSE MUST SEPARATE PROTECTED WORKS FROM DEPOTS

Table I.—Where Mineral Spirit and/or Dangerous Goods of Class 1 (with or without Mineral Oil and/or Dangerous Goods of Class 2) are kept or to be kept:—

| In an underground Tank Depot, in quantity exceeding 500 gallons, but not exceeding— | In an aboveground Tank Depot or other Depot, separated from protected works by a screen wall, in quantity exceeding 100 gallons, but not exceeding— | In an aboveground Tank Depot or other Depot not separated from protected works by a screen wall, in quantity exceeding 100 gallons, but not exceeding— | Distance not less than— |
|---|---|--|-------------------------|
| Gallons | Gallons | Gallons | Feet |
| 2,000 | 1,000 | 250 | 10 |
| 2,400 | 1,200 | 300 | 11 |
| 2,800 | 1,400 | 350 | 12 |
| 3,200 | 1,600 | 400 | 13 |
| 3,600 | 1,800 | 450 | 14 |
| 4,000 | 2,000 | 500 | 15 |
| 7,200 | 3,600 | 900 | 16 |
| 10,400 | 5,200 | 1,300 | 17 |
| 13,600 | 6,800 | 1,700 | 18 |
| 16,800 | 8,400 | 2,100 | 19 |
| 20,000 | 10,000 | 2,500 | 20 |
| 22,000 | 11,000 | 2,750 | 21 |
| 24,000 | 12,000 | 3,000 | 22 |
| 26,000 | 13,000 | 3,250 | 23 |
| 28,000 | 14,000 | 3,500 | 24 |
| 30,000 | 15,000 | 3,750 | 25 |
| 32,000 | 16,000 | 4,000 | 26 |
| 40,000 | 20,000 | 5,000 | 30 |
| 80,000 | 40,000 | 10,000 | 40 |
| 100,000 and over | 80,000 | 20,000 | 50 |
| | 160,000 | 40,000 | 75 |
| | 320,000 and over | 80,000 | 100 |
| | | 120,000 | 115 |
| | | 240,000 | 130 |
| | | 400,000 and over | 150 |

Table II.—Where Mineral Oil and/or Dangerous Goods of Class 2 only are kept or to be kept:—

| In an underground Tank Depot, in quantity exceeding 800 gallons, but not exceeding— | In an aboveground Tank Depot or other Depot, separated from protected works by a screen wall, in quantity exceeding 800 gallons, but not exceeding— | In an aboveground Tank Depot or other Depot not separated from protected works by a screen wall, in quantity exceeding 800 gallons, but not exceeding— | Distance not less than— |
|---|---|--|-------------------------|
| Gallons | Gallons | Gallons | Feet |
| 4,000 | 2,000 | 1,000 | 10 |
| 8,000 | 4,000 | 2,000 | 15 |
| 14,400 | 7,200 | 3,600 | 16 |
| 20,800 | 10,400 | 5,200 | 17 |
| 40,000 | 20,000 | 10,000 | 20 |
| 80,000 | 40,000 | 20,000 | 30 |
| 160,000 | 80,000 | 40,000 | 40 |
| 320,000 and over | 160,000 | 80,000 | 50 |
| | 320,000 and over | 160,000 | 75 |
| | | 320,000 and over | 100 |

Provided that the distances shown above may be altered proportionately for intermediate quantities.

Protected Work means:—

Building in which any person dwells or in which persons are accustomed to assemble for the purpose of public concourse, public religious worship, public entertainment or amusement, education or discussion, and public offices; stores (including bonded or free or bonded and free combined) warehouses and buildings in which persons are employed for the purpose of any trade or business, and which are not situated on the licensed store; dock, wharf, pier, or timber yard, and that part of a harbour, port or river where it is customary for ships to berth, moor or lie; other depot in which inflammable liquid or dangerous goods are kept.

INSPECTION RECORD

Licence No. A3855

Licensee: R. N. Robson (Gosford) Pty Ltd.

Address: Jamies + Narrara St., Gosford.
(MARTIN ST)

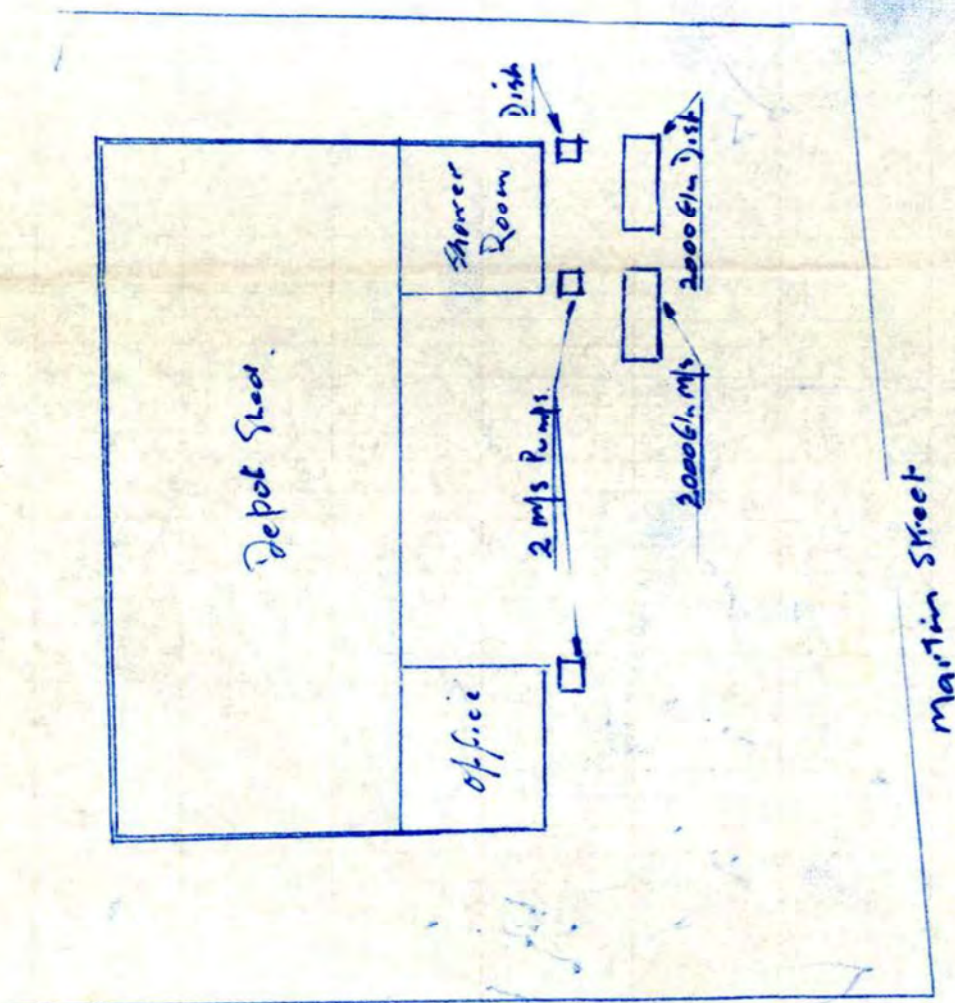
Storage licensed: 1/2000 Ball

Sketch of Premises (Dimensions of depot and distance of same from adjoining "protected works" to be shown).

See company layout plan herewith.

| Inspected | Initials | Requisitions made or state of depot |
|-----------|----------|---|
| 29/6/62 | RNB | Sat |
| 16/10/69 | RNB | Sat |
| 6/10/72 | RNB | Sat |
| 18-4-77 | ABB | Sat. |
| 10.8.78 | of Davis | Sat License amended to include alcohol |
| 12.6.80 | of Davis | Sat |
| 10/85 | ABB | Requies S.E.W.S sign. |

2



R. W. Robson Gosford Pty Ltd
Gosford

Instal 1x2000 m/s Tank
Instal 1x2000 Dist Tank

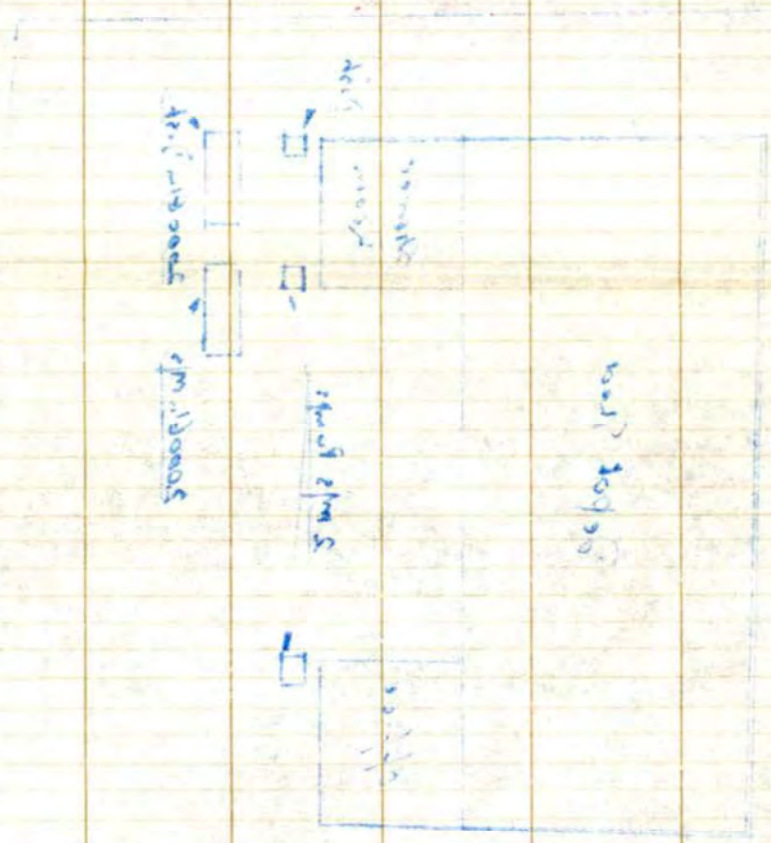


Handwritten text at the top of the page, possibly a title or header.

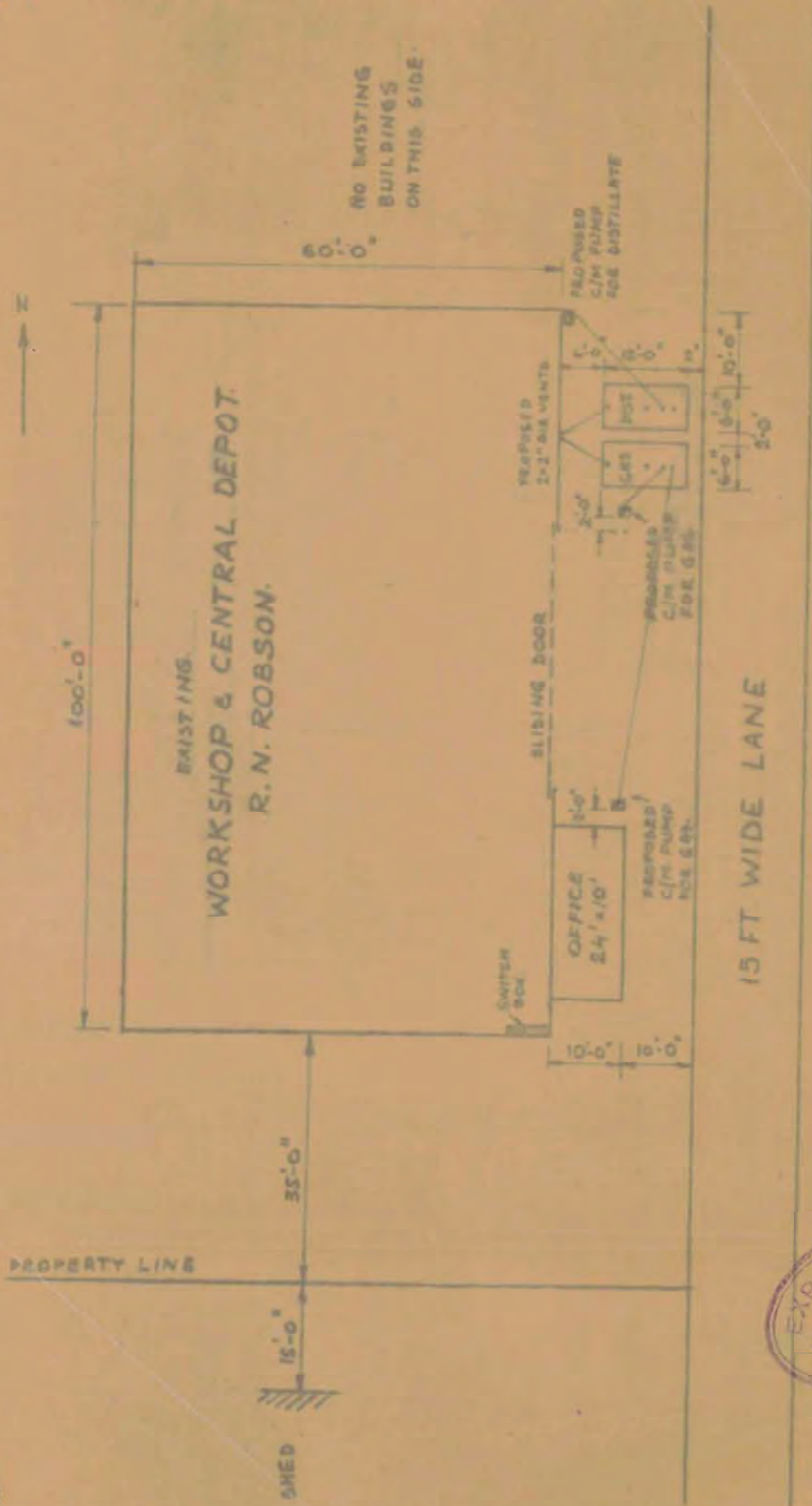
Handwritten text below the top header, possibly a date or reference number.

Handwritten text on the right side of the page.

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Handwritten text at the bottom of the page, possibly a signature or footer.



EXPLOSIVES DEPT.
PASSED
Amundson
6.9.60

PROPOSED INSTALLATION OF 2 x 2000 GAL U/G TANKS AND 3 x C/M PUMPS
FOR R.N. ROBSON, MARTIN ST. WEST GOSFORD.

1" = 20'-0"

DATE 30.8.60
DRAWN BY F. D.

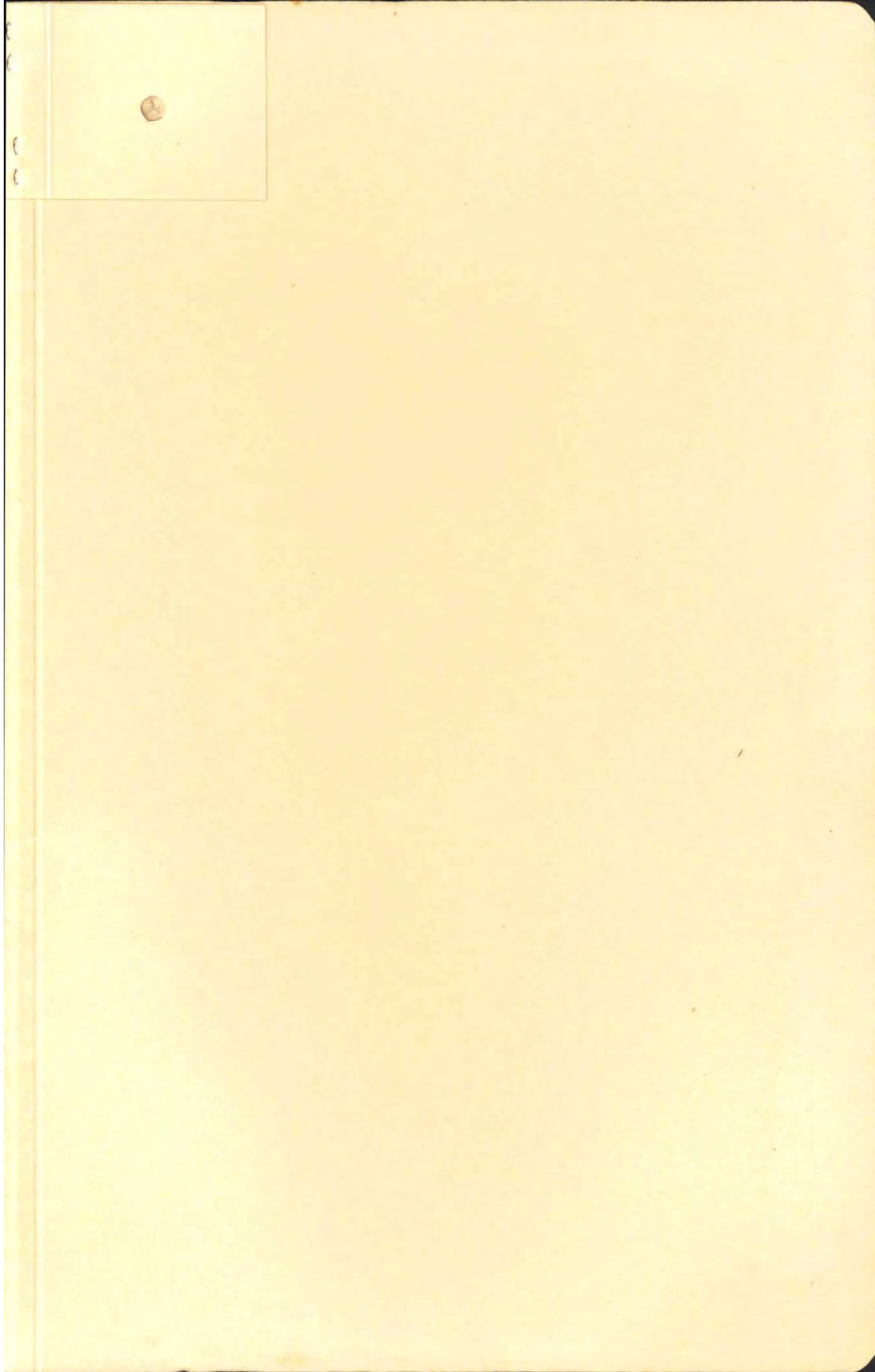
38

TOPOGRAPHIC & GEOMORPHIC
MAP OF THE
N.W. CORNER
SECTION 10, T.10N. R.10E. S.10E.

100-10

100-10





35/003855



B1085077

Government Records Repository



F010143302



Asbestos Building Materials Register and Management Plan



Busways Group Pty Ltd

**9A-11 Racecourse Road
WEST GOSFORD NSW 2250**



Inspection Date: 12 December 2019

Issue Date: 21 January 2020

Report Number: 11222.07.ASSR



GETEX PTY LIMITED
ABN 99 116 287 471

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Document Control

| Revision Number | Issue Date | Document Number | Author | Author Signature | Reviewer | Reviewer Signature |
|-----------------|------------|-----------------|----------------------|------------------|--------------------------|--------------------|
| Revision 0 | 21/01/2020 | 11222.07.ASSR | Lee Hands BSc (Hons) | | Kris Narayan BAppSc(EMT) | |

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| Appendix I | Sample Register & Asbestos Sample Analysis Report |
|------------------|---|

1. CLIENT DETAILS

Client: Busways Group Pty Ltd
Client Contact: Des Moodley and Don Shipway
Client Address: 5-7 Bridge Street
PYMBLE NSW 2073

2. SITE DETAILS

Site Address: 9a-11 Racecourse Road
WEST GOSFORD NSW 2250
Date Surveyed: 12th December 2019
Surveyed By: Lee Hands BSc (Hons) Licensed Asbestos Assessor LAA001106

3. SUMMARY OF FINDINGS

The following table provides a general overview of the asbestos identified on Site. Please refer to Section 8 for the Asbestos Register for more detail.

| Building | Location | Asbestos Identified | |
|------------------------|----------|---------------------|----------------------|
| | | Friable Asbestos | Non-Friable Asbestos |
| Northern Stable | Exterior | 1 Occurrence | 7 Occurrences |
| | Interior | N/A | 3 Occurrences |
| North-western Shed | Exterior | 2 Occurrences | 4 Occurrences |
| | Interior | N/A | 1 Occurrence |
| Northern Exercise Ring | Exterior | N/A | N/A |
| | Interior | N/A | N/A |

| Building | Location | Asbestos Identified | |
|-----------------|----------------|---------------------|----------------------|
| | | Friable Asbestos | Non-Friable Asbestos |
| Southern Stable | Exterior | 3 Occurrences | 6 Occurrences |
| | Interior | N/A | 3 Occurrences |
| House | Exterior | N/A | 2 Occurrences |
| | Interior | N/A | 4 Occurrences |
| | Ceiling Cavity | N/A | 1 Occurrence |
| Garage | Exterior | N/A | 2 Occurrences |
| | Interior | N/A | N/A |

Table 3.1 – Summary of Asbestos Findings

Please note any areas that were not accessed (refer to Section 7 and the register in Section 8) may potentially contain asbestos and further investigation prior to refurbishment or demolition activities may be required.

4. SCOPE

Getex Pty Ltd was engaged by Des Moodley and Don Shipway of Busways Group Pty Ltd to undertake an Asbestos Materials survey for the determination of the type, condition and extent of asbestos building materials that might be present on the Site and to prepare an Asbestos Building Materials Register and an Asbestos Management Plan for the Site. The aim of the survey was to:

- Inspect all accessible areas of the site and identify any suspected asbestos containing materials (ACMs);
- Sample materials suspected of containing asbestos;
- Compile an asbestos register for the site, and;
- Provide advice regarding the ongoing management of asbestos materials identified in the survey.

The Getex Asbestos Building Materials Register & Management Plan constitutes an Asbestos Register and Asbestos Management Plan under the Safe Work Australia Code of Practice (How to Safely Remove Asbestos); the Code of Practice (How to Manage and Control Asbestos in the Workplace); and, the Code of Practice for the Management and Control of Asbestos in Workplaces [NOHSC: 2018 (2005)] which are approved under Section 274 of the Work Health and Safety Act 2011.

The Asbestos building materials register is a list of building materials identified in the investigation that fall into one of these three categories:

- 1) The material was identified as Asbestos Containing;
- 2) The material was investigated and found not to contain Asbestos, or
- 3) The material was considered to be of a type that could be confused with asbestos containing building materials (e.g. fibre cement sheeting containing no asbestos).

Entries are presented within the register relating to each material that falls into one of the three categories listed by area along with an example photo of the material.

5. GENERAL GUIDELINES FOR USE

Please follow these general guidelines in the use of this register:

- 1) Ensure that a copy of this register is available on Site and may be viewed by contractors working in the area. Copies of the register are to be supplied to any tenants on request.
- 2) If work is being conducted in a particular area identify all asbestos items within the register and ensure the relevant controls are followed by workers or contractors if working in the vicinity of the material e.g. do not drill, cut grind or sand.
- 3) Remove all identified asbestos materials from Site prior to demolition or refurbishment activities that may disturb the materials.

6. METHODOLOGY

All accessible areas of the buildings at the Site were thoroughly inspected for the determination of the type, condition and extent of asbestos building materials that might be present.

Where visual examination of a material proved to be inconclusive, samples were collected for laboratory analysis. Samples were collected by non-destructive and non-intrusive techniques where available.

Determination of materials containing or potentially containing asbestos were based on a visual examination and/or sampling and analysis.

All asbestos samples were analysed by a NATA accredited Laboratory. Asbestos samples were analysed for the qualitative identification of asbestos type fibres in bulk using Polarised Light Microscopy and Dispersion Staining Techniques.

After the completion of the asbestos materials survey, a register was prepared outlining occurrences of asbestos materials in each asset, the condition of the asbestos the treatment option required and the priority of treatment. The Asbestos Building Materials Register details the location, description, type, condition, and risk priority of presumed or identified asbestos materials.

7. AREAS NOT ACCESSED

All reasonable effort was made to investigate the entire building. Where this was not possible due to restrictions caused by construction or safety, an entry is made within the register noting that the area has not been inspected and the reason for this. Such areas include, but are not limited to:

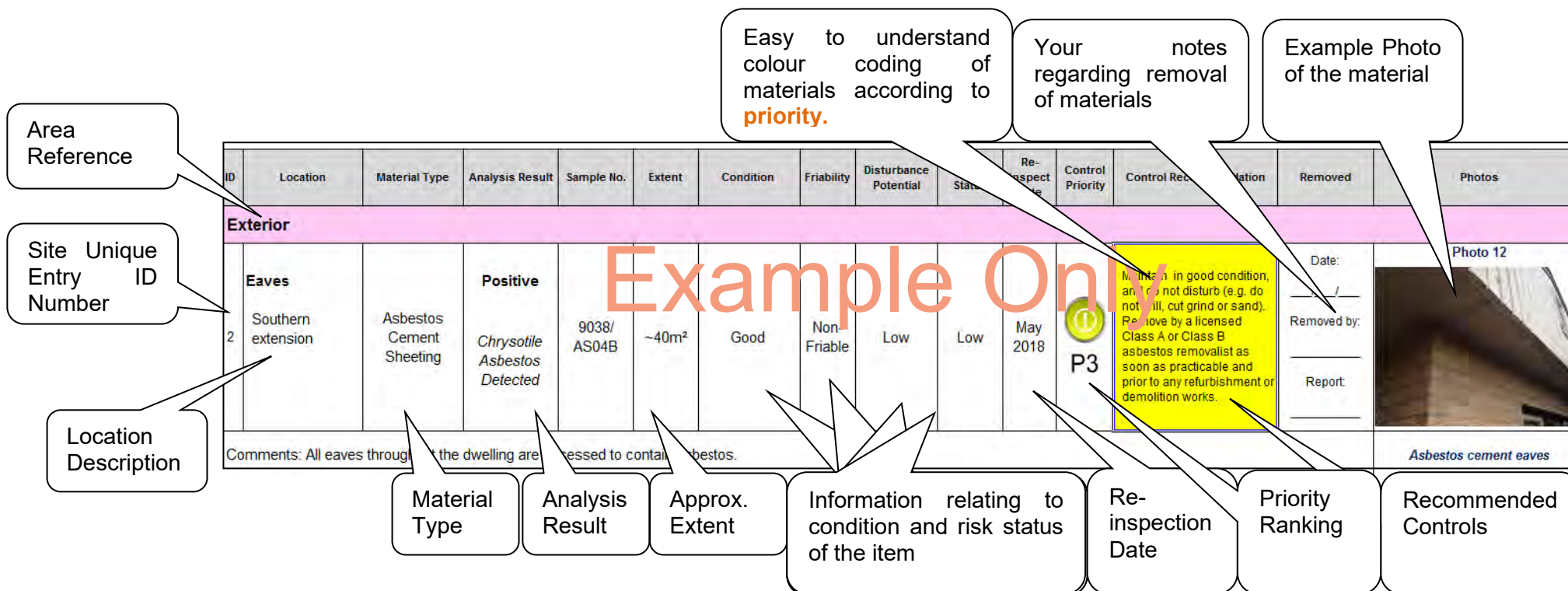
- Height restricted areas;
- Gas, electrical, chemical or pressurised service lines;
- Within service shafts, ducts and wall cavities;
- Areas obstructed by installed equipment; and
- Locked areas to which no key is available at the time of inspection.

Further investigation of these areas is required if refurbishment or demolition activities within these areas are to proceed.

8. ASBESTOS BUILDING MATERIALS REGISTER

How to Use this Register

Figure 1 below is an example entry in a typical register.



Area Reference


Site Unique Entry ID Number

Location Description

Easy to understand colour coding of materials according to priority.

Your notes regarding removal of materials

Example Photo of the material

| ID | Location | Material Type | Analysis Result | Sample No. | Extent | Condition | Friability | Disturbance Potential | Status | Re-inspect Date | Control Priority | Control Recommendation | Removed | Photos |
|---|-----------------------------|---------------------------|--|------------|--------|-----------|-------------|-----------------------|--------|-----------------|------------------|---|---|--|
| Exterior | | | | | | | | | | | | | | |
| 2 | Eaves Southern extension | Asbestos Cement Sheetting | Positive Chrysotile Asbestos Detected | 9038/AS04B | ~40m² | Good | Non Friable | Low | Low | May 2018 | P3 | Maintain in good condition, and do not disturb (e.g. do not drill, cut grind or sand). Remove by a licensed Class A or Class B asbestos removalist as soon as practicable and prior to any refurbishment or demolition works. | Date: _____ Removed by: _____ Report: _____ | Photo 12  |
| Comments: All eaves throughout the dwelling are assessed to contain asbestos. | | | | | | | | | | | | | | |

Material Type

Analysis Result

Approx. Extent

Information relating to condition and risk status of the item

Re-inspection Date

Priority Ranking

Recommended Controls

Figure 1 – Example Register Entry

ASBESTOS BUILDING MATERIALS REGISTER

Prepared by Getex

Northern Stable

Site Address: 9A-11 Racecourse Road





Investigated: 12 December 2019







WEST GOSFORD NSW 2250







Consultant: Lee Hands BSc (Hons)










Asset Photo

| ID | Location | Material Type | Sample No. | Analysis Result | Extent | Condition | Friability | Disturbance Potential | Risk Status | Re-inspect Date | Control Priority | Control Recommendation | Removed | Photos |
|----------|---|--------------------------|------------|--|--------------------|-----------|-------------|-----------------------|-------------|-----------------|---|---|--|--|
| Exterior | | | | | | | | | | | | | | |
| 1 | Corrugated roof sheeting Throughout | Asbestos Cement Sheeting | - | Positive <i>Asbestos Detected (Visually Assessed)</i> | ~160m ² | Good | Non-Friable | Low | Low | Dec 2022 |  P3 | Label and maintain in good condition, and do not disturb (e.g. do not drill, cut grind or sand). Remove by a licensed Class A or Class B asbestos removalist as soon as practicable and prior to any refurbishment or demolition works. | Date: ____/____/____ Removed by: ____ Report: ____ | Photo 1  |
| | | | | | | | | | | | | | | Asbestos Cement Sheeting |
| 2 | Corrugated wall panelling Throughout | Asbestos Cement Sheeting | - | Positive <i>Asbestos Detected (Visually Assessed)</i> | ~20m ² | Good | Non-Friable | Low | Low | Dec 2022 |  P3 | Label and maintain in good condition, and do not disturb (e.g. do not drill, cut grind or sand). Remove by a licensed Class A or Class B asbestos removalist as soon as practicable and prior to any refurbishment or demolition works. | Date: ____/____/____ Removed by: ____ Report: ____ | Photo 2  |
| | | | | | | | | | | | | | | Asbestos Cement Sheeting |

| ID | Location | Material Type | Sample No. | Analysis Result | Extent | Condition | Friability | Disturbance Potential | Risk Status | Re-inspect Date | Control Priority | Control Recommendation | Removed | Photos |
|---|--|---------------------------------|------------|---|------------------|----------------------|-------------|-----------------------|-------------|-----------------|--|---|---|---|
| Exterior (Cont..) | | | | | | | | | | | | | | |
| 3 | Eastern wing Southern wall - Flat wall panels | Asbestos Cement Sheeting | - | Assumed Positive <i>Assumed to Contain Asbestos (Visually Assessed)</i> | ~8m ² | Good | Non-Friable | Low | Low | Dec 2022 |  P3 | Label and maintain in good condition, and do not disturb (e.g. do not drill, cut grind or sand). Remove by a licensed Class A or Class B asbestos removalist as soon as practicable and prior to any refurbishment or demolition works. | Date: _____ Removed by: _____ Report: _____ | Photo 3  |
| Comments: Assumed to contain asbestos and to be managed as asbestos inline with other asbestos materials in the building. Its is recommended to cut back the vegetation to prevent damage caused by branch scratches. | | | | | | | | | | | | | | Asbestos Cement Sheeting (Obscured by Bush) |
| 4 | Northern embankment Five metres north-west of stable | Asbestos Cement Sheeting Debris | - | Positive <i>Asbestos Detected (Visually Assessed)</i> | ~1m ² | Good/ Minor Damage | Non-Friable | Low | Low | Dec 2022 |  P3 | Restrict access and erect appropriate signage at the entrances to the area. Conduct a sparrow pick of the area by a licensed Class A or Class B asbestos removalist as soon as practicable. | Date: _____ Removed by: _____ Report: _____ | Photo 4  |
| | | | | | | | | | | | | | | Asbestos Cement Sheeting Debris |
| 5 | Northern wing Northern wall - Western end - Adjacent wall - Debris | Asbestos Cement Sheeting Debris | - | Positive <i>Asbestos Detected (Visually Assessed)</i> | ~1m ² | Good/ Minor Cracking | Non-Friable | Low | Low | Dec 2022 |  P3 | Restrict access and erect appropriate signage at the entrances to the area. Conduct a sparrow pick of the area by a licensed Class A or Class B asbestos removalist as soon as practicable. | Date: _____ Removed by: _____ Report: _____ | Photo 5  |
| | | | | | | | | | | | | | | Asbestos Cement Sheeting Debris |

| ID | Location | Material Type | Sample No. | Analysis Result | Extent | Condition | Friability | Disturbance Potential | Risk Status | Re-inspect Date | Control Priority | Control Recommendation | Removed | Photos |
|---|---|---------------------------------|---------------|--|-------------------|-----------|-------------|-----------------------|-------------|-----------------|---|---|---|---|
| Exterior (Cont..) | | | | | | | | | | | | | | |
| 6 | Roof Fascia end capping panels | Asbestos Cement Sheeting | - | Positive <i>Asbestos Detected (Visually Assessed)</i> | 20 lineal metres | Good | Non-Friable | Low | Low | Dec 2022 |  P3 | Label and maintain in good condition, and do not disturb (e.g. do not drill, cut grind or sand). Remove by a licensed Class A or Class B asbestos removalist as soon as practicable and prior to any refurbishment or demolition works. | Date: _____ Removed by: _____ Report: _____ | Photo 6  |
| | | | | | | | | | | | | | | Asbestos Cement Sheeting |
| 7 | Western wing Western all - Adjacent ground surfaces - Below drip line of roof | Soil | 11222.07/AS04 | Positive <i>Chrysotile & Amosite Asbestos Detected</i> | ~20m ² | Poor | Friable | Medium | High | Jan 2020 |  P1 | Restrict access and erect appropriate signage around the area. Remove under friable conditions by a licensed Class A asbestos removalist as soon as practicable. | Date: _____ Removed by: _____ Report: _____ | Photo 7  |
| Comments: Without extensive sample collection and analysis the full extent of the asbestos contamination can not be fully determined. It is recommended that remediation of the area is conducted over a larger area to ensure all asbestos contamination is removed. | | | | | | | | | | | | | | Soil |
| 8 | Western wing Western all - Adjacent ground surfaces - Debris (old gutters) | Asbestos Cement Sheeting Debris | - | Positive <i>Asbestos Detected (Visually Assessed)</i> | ~4m ² | Moderate | Non-Friable | Medium | Medium | Dec 2020 |  P2 | Restrict access and erect appropriate signage at the entrances to the area. Conduct a sparrow pick of the area by a licensed Class A or Class B asbestos removalist as soon as practicable. | Date: _____ Removed by: _____ Report: _____ | Photo 8  |
| | | | | | | | | | | | | | | Asbestos Cement Sheeting Debris |

| ID | Location | Material Type | Sample No. | Analysis Result | Extent | Condition | Friability | Disturbance Potential | Risk Status | Re-inspect Date | Control Priority | Control Recommendation | Removed | Photos |
|---|--|--------------------------|------------|---|--------------------|-----------|-------------|-----------------------|-------------|-----------------|--|---|---|--|
| Interior | | | | | | | | | | | | | | |
| 9 | Corrugated roof Underside of roof - Throughout | Asbestos Cement Sheeting | - | Positive <i>Asbestos Detected (Visually Assessed)</i> | ~160m ² | Good | Non-Friable | Low | Low | Dec 2022 |  P3 | Label and maintain in good condition, and do not disturb (e.g. do not drill, cut grind or sand). Remove by a licensed Class A or Class B asbestos removalist as soon as practicable and prior to any refurbishment or demolition works. | Date: _/_/_/ Removed by: _____ Report: _____ | Photo 9  |
| | | | | | | | | | | | | | | Asbestos Cement Sheeting |
| 10 | Corrugated wall panelling Throughout | Asbestos Cement Sheeting | - | Positive <i>Asbestos Detected (Visually Assessed)</i> | ~20m ² | Good | Non-Friable | Low | Low | Dec 2022 |  P3 | Label and maintain in good condition, and do not disturb (e.g. do not drill, cut grind or sand). Remove by a licensed Class A or Class B asbestos removalist as soon as practicable and prior to any refurbishment or demolition works. | Date: _/_/_/ Removed by: _____ Report: _____ | Photo 10  |
| Comments: Access to the asbestos wall panels by horses using the stables is restricted using wire mesh. | | | | | | | | | | | | | | Asbestos Cement Sheeting |
| 11 | Doors and dividers- Panelling | Timber | - | Negative No Asbestos Detected (Visually Assessed) | - | - | - | - | - | - | - | - | - | Photo 11  |
| | | | | | | | | | | | | | | Timber |

| ID | Location | Material Type | Sample No. | Analysis Result | Extent | Condition | Friability | Disturbance Potential | Risk Status | Re-inspect Date | Control Priority | Control Recommendation | Removed | Photos |
|---|---|--------------------------|------------|---|------------------|-----------|-------------|-----------------------|-------------|-----------------|--|---|---|--|
| Interior (Cont..) | | | | | | | | | | | | | | |
| 12 | Eastern wing Southern wall - Flat wall panels | Asbestos Cement Sheeting | - | Assumed Positive <i>Assumed to Contain Asbestos (Visually Assessed)</i> | ~8m ² | Good | Non-Friable | Low | Low | Dec 2022 |  P3 | Label and maintain in good condition, and do not disturb (e.g. do not drill, cut grind or sand). Remove by a licensed Class A or Class B asbestos removalist as soon as practicable and prior to any refurbishment or demolition works. | Date: _____ Removed by: _____ Report: _____ | Photo 12  |
| Comments: Access to the asbestos wall panels by horses using the stables is restricted using wire mesh. | | | | | | | | | | | | | | <i>Asbestos Cement Sheeting</i> |

ASBESTOS BUILDING MATERIALS REGISTER

Prepared by Getex

North-Eastern Shed

Site Address: 9A-11 Racecourse Road





Investigated: 12 December 2019




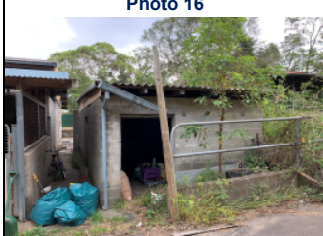


WEST GOSFORD NSW 2250





Consultant: Lee Hands BSc (Hons)



Asset Photo

| ID | Location | Material Type | Sample No. | Analysis Result | Extent | Condition | Friability | Disturbance Potential | Risk Status | Re-inspect Date | Control Priority | Control Recommendation | Removed | Photos |
|--|---|--------------------------|------------|--|-------------------|-----------|-------------|-----------------------|-------------|-----------------|---|---|--|---|
| Exterior | | | | | | | | | | | | | | |
| 13 | Corrugated roof sheeting Throughout | Asbestos Cement Sheeting | - | Positive <i>Asbestos Detected (Visually Assessed)</i> | ~40m ² | Good | Non-Friable | Low | Low | Dec 2022 |  P3 | Label and maintain in good condition, and do not disturb (e.g. do not drill, cut grind or sand). Remove by a licensed Class A or Class B asbestos removalist as soon as practicable and prior to any refurbishment or demolition works. | Date: ____/____/____ Removed by: ____ Report: ____ | Photo 13  |
| | | | | | | | | | | | | | | Asbestos Cement Sheeting |
| 14 | Eastern side of building Broken gutter | Asbestos Cement Sheeting | - | Positive <i>Asbestos Detected (Visually Assessed)</i> | 2 lineal metres | Moderate | Non-Friable | Medium | Medium | Dec 2020 |  P2 | Label materials, restrict access and remove by a licensed Class A or Class B asbestos removalist as soon as practicable. | Date: ____/____/____ Removed by: ____ Report: ____ | Photo 14  |
| Comments: Gutter may fall and break on ground releasing asbestos detritus (in gutter) and airborne fibres. | | | | | | | | | | | | | | Asbestos Cement Sheeting |

| ID | Location | Material Type | Sample No. | Analysis Result | Extent | Condition | Friability | Disturbance Potential | Risk Status | Re-inspect Date | Control Priority | Control Recommendation | Removed | Photos |
|---|--|--------------------------|-------------------------------|---|-------------------|--------------------|-------------|-----------------------|-------------|-----------------|--|---|---|--|
| Exterior (Cont..) | | | | | | | | | | | | | | |
| 15 | Eastern side of the building Gutter - Detritus in gutter | Detritus | - | Positive <i>Asbestos Detected (Visually Assessed)</i> | 2 lineal metres | Poor | Friable | High | High | Jan 2020 |  P1 | Restrict access and erect appropriate signage around the area. Remove under friable conditions by a licensed Class A asbestos removalist as soon as practicable. | Date: _/_/_/ Removed by: _____ Report: _____ | Photo 15  |
| | | | | | | | | | | | | | | Gutter Detritus |
| 16 | Eastern side of the building Materials below roof drip line | Detritus | - | Assumed Positive <i>Assumed to Contain Asbestos (Visually Assessed)</i> | ~8m ² | Poor | Friable | High | High | Jan 2020 |  P1 | Restrict access and erect appropriate signage around the area. Remove under friable conditions by a licensed Class A asbestos removalist as soon as practicable. | Date: _/_/_/ Removed by: _____ Report: _____ | Photo 16  |
| Comments: It is assumed that all items below the drip line of the roof contain asbestos detritus. | | | | | | | | | | | | | | Detritus Covered Materials |
| 17 | Northern, western and southern sides Top of wall - Fascia panels | Asbestos Cement Sheeting | Same as Sample 11222.07/ AS06 | Positive <i>Asbestos Detected (Assessed to be similar to previous sample)</i> | ~15m ² | Good/ Minor Damage | Non-Friable | Low | Low | Dec 2022 |  P3 | Label and maintain in good condition, and do not disturb (e.g. do not drill, cut grind or sand). Remove by a licensed Class A or Class B asbestos removalist as soon as practicable and prior to any refurbishment or demolition works. | Date: _/_/_/ Removed by: _____ Report: _____ | Photo 17  |
| | | | | | | | | | | | | | | Asbestos Cement Sheeting |

| ID | Location | Material Type | Sample No. | Analysis Result | Extent | Condition | Friability | Disturbance Potential | Risk Status | Re-inspect Date | Control Priority | Control Recommendation | Removed | Photos |
|--------------------------|---|---------------------------------|---------------|--|-------------------|-----------|-------------|-----------------------|-------------|-----------------|--|---|---|--|
| Exterior (Cont..) | | | | | | | | | | | | | | |
| 18 | Southern side of building Ground surfaces - Fascia panel debris | Asbestos Cement Sheeting Debris | 11222.07/AS06 | Positive <i>Chrysotile & Amosite Asbestos Detected</i> | ~2m ² | Moderate | Non-Friable | High | Medium | Dec 2020 |  P2 | Restrict access and erect appropriate signage at the entrances to the area. Conduct a sparrow pick of the area by a licensed Class A or Class B asbestos removalist as soon as practicable. | Date: _____ Removed by: _____ Report: _____ | Photo 18  |
| | | | | | | | | | | | | | | Asbestos Cement Sheeting Debris |
| Interior | | | | | | | | | | | | | | |
| 19 | Corrugated roof Underside of roof - Throughout | Asbestos Cement Sheeting | - | Positive <i>Asbestos Detected (Visually Assessed)</i> | ~40m ² | Good | Non-Friable | Low | Low | Dec 2022 |  P3 | Label and maintain in good condition, and do not disturb (e.g. do not drill, cut grind or sand). Remove by a licensed Class A or Class B asbestos removalist as soon as practicable and prior to any refurbishment or demolition works. | Date: _____ Removed by: _____ Report: _____ | Photo 19  |
| | | | | | | | | | | | | | | Asbestos Cement Sheeting |

ASBESTOS BUILDING MATERIALS REGISTER

Prepared by Getex

Northern Exercise Ring

Site Address: 9A-11 Racecourse Road



Investigated: 12 December 2019

WEST GOSFORD NSW 2250

Consultant: Lee Hands BSc (Hons)



Asset Photo

| ID | Location | Material Type | Sample No. | Analysis Result | Extent | Condition | Friability | Disturbance Potential | Risk Status | Re-inspect Date | Control Priority | Control Recommendation | Removed | Photos |
|----------|---------------------------------|---------------|------------|---|--------|-----------|------------|-----------------------|-------------|-----------------|------------------|------------------------|---------|---|
| Exterior | | | | | | | | | | | | | | |
| 20 | Exterior surfaces Throughout | Various | - | Negative No Asbestos Detected (Visually Assessed) | - | - | - | - | - | - | - | - | - | Photo 20  |
| | | | | | | | | | | | | | | Exterior View |
| Interior | | | | | | | | | | | | | | |
| 21 | Interior surfaces Throughout | Various | - | Negative No Asbestos Detected (Visually Assessed) | - | - | - | - | - | - | - | - | - | Photo 21  |
| | | | | | | | | | | | | | | Interior View |

ASBESTOS BUILDING MATERIALS REGISTER

Prepared by Getex

Southern Stable

Site Address: 9A-11 Racecourse Road





Investigated: 12 December 2019







WEST GOSFORD NSW 2250






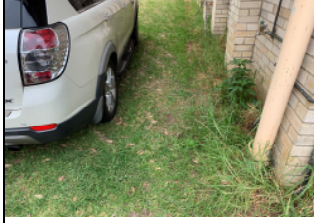
Consultant: Lee Hands BSc (Hons)








Asset Photo

| ID | Location | Material Type | Sample No. | Analysis Result | Extent | Condition | Friability | Disturbance Potential | Risk Status | Re-inspect Date | Control Priority | Control Recommendation | Removed | Photos |
|---|---|--------------------------|------------|---|--------------------|-----------|-------------|-----------------------|-------------|-----------------|--|---|--|--|
| Exterior | | | | | | | | | | | | | | |
| 22 | Eastern side Lean to stables - Western half of roof | Asbestos Cement Sheeting | - | Positive <i>Asbestos Detected (Visually Assessed)</i> | ~150m ² | Good | Non-Friable | Low | Low | Dec 2022 |  P3 | Label and maintain in good condition, and do not disturb (e.g. do not drill, cut grind or sand). Remove by a licensed Class A or Class B asbestos removalist as soon as practicable and prior to any refurbishment or demolition works. | Date: ____/____/____ Removed by: ____ Report: ____ | Photo 22  |
| | | | | | | | | | | | | | | Asbestos Cement Sheeting at Rear |
| 23 | Gutters throughout Detritus | Detritus | - | Positive <i>Asbestos Detected (Visually Assessed)</i> | 50 lineal metres | Poor | Friable | Low | Medium | Dec 2020 |  P2 | Restrict access and erect appropriate signage around the area. Remove under friable conditions by a licensed Class A asbestos removalist as soon as practicable. | Date: ____/____/____ Removed by: ____ Report: ____ | Photo 23  |
| Comments: Western gutter is full of detritus and may overflow if not cleaned. | | | | | | | | | | | | | | Detritus in Western Gutter |

| ID | Location | Material Type | Sample No. | Analysis Result | Extent | Condition | Friability | Disturbance Potential | Risk Status | Re-inspect Date | Control Priority | Control Recommendation | Removed | Photos |
|---|---|---------------------------|----------------|--|-------------------|--------------------|-------------|-----------------------|-------------|-----------------|--|---|---|--|
| Exterior (Cont..) | | | | | | | | | | | | | | |
| 24 | Northern and southern ends Upper and lower gables - Wall sheeting | Asbestos Cement Sheetting | - | Positive <i>Asbestos Detected (Visually Assessed)</i> | ~60m ² | Good | Non-Friable | Low | Low | Dec 2022 |  P3 | Label and maintain in good condition, and do not disturb (e.g. do not drill, cut grind or sand). Remove by a licensed Class A or Class B asbestos removalist as soon as practicable and prior to any refurbishment or demolition works. | Date: _____ Removed by: _____ Report: _____ | Photo 24  |
| | | | | | | | | | | | | | | Asbestos Cement Sheetting |
| 25 | North-west and south-west corners Downpipes | Asbestos Cement Piping | - | Positive <i>Asbestos Detected (Visually Assessed)</i> | 2 pipes | Good/ Minor Damage | Non-Friable | Low | Low | Dec 2022 |  P3 | Label, seal any damaged areas and maintain in good condition. Do not disturb (e.g. do not drill, cut grind or sand). Remove by a licensed Class A or Class B asbestos removalist as soon as practicable and prior to any refurbishment or demolition works. | Date: _____ Removed by: _____ Report: _____ | Photo 25  |
| | | | | | | | | | | | | | | Asbestos Cement Piping |
| 26 | North-west corner Concrete floor below gutter drain point | Leaves & Detritus | 11222.07/ AS09 | Positive <i>Chrysotile & Amosite Asbestos Detected</i> | ~16m ² | Poor | Friable | High | High | Jan 2020 |  P1 | Restrict access and erect appropriate signage around the area. Remove under friable conditions by a licensed Class A asbestos removalist as soon as practicable. | Date: _____ Removed by: _____ Report: _____ | Photo 26  |
| Comments: Without extensive sample collection and analysis the full extent of the asbestos contamination can not be fully determined. It is recommended that remediation of the area is conducted over a larger area to ensure all asbestos contamination is removed. | | | | | | | | | | | | | | Leaves & Detritus |

| ID | Location | Material Type | Sample No. | Analysis Result | Extent | Condition | Friability | Disturbance Potential | Risk Status | Re-inspect Date | Control Priority | Control Recommendation | Removed | Photos |
|---|---|--------------------------|---------------|--|--------------------|-----------|-------------|-----------------------|-------------|-----------------|--|--|---|--|
| Exterior (Cont..) | | | | | | | | | | | | | | |
| 27 | Roof Upper and lower roofs and edging caps | Asbestos Cement Sheeting | - | Positive <i>Asbestos Detected (Visually Assessed)</i> | ~350m ² | Good | Non-Friable | Low | Low | Dec 2022 |  P3 | Label and maintain in good condition, and do not disturb (e.g. do not drill, cut grind or sand). Remove by a licensed Class A or Class B asbestos removalist as soon as practicable and prior to any refurbishment or demolition works. | Date: _____ Removed by: _____ Report: _____ | Photo 27  |
| | | | | | | | | | | | | | | Asbestos Cement Sheeting |
| 28 | Southern wall Meter box | Electrical Backing Board | - | Positive <i>Asbestos Detected (Visually Assessed)</i> | ~1m ² | Good | Non-Friable | Low | Low | Dec 2022 |  P3 | Label, maintain in good condition, and do not disturb (e.g. do not drill, cut grind or sand). Remove by a licensed Class A or Class B asbestos removalist as soon as practicable and prior to any refurbishment, demolition works or any electrical works that require drilling. | Date: _____ Removed by: _____ Report: _____ | Photo 28  |
| | | | | | | | | | | | | | | Electrical Backing Board |
| 29 | South-west corner Grassed surfaces below gutter drain point | Soil | 11222.07/AS10 | Positive <i>Chrysotile & Amosite Asbestos Detected</i> | ~16m ² | Poor | Friable | High | High | Jan 2020 |  P1 | Restrict access and erect appropriate signage around the area. Remove under friable conditions by a licensed Class A asbestos removalist as soon as practicable. | Date: _____ Removed by: _____ Report: _____ | Photo 29  |
| Comments: Without extensive sample collection and analysis the full extent of the asbestos contamination can not be fully determined. It is recommended that remediation of the area is conducted over a larger area to ensure all asbestos contamination is removed. | | | | | | | | | | | | | | Soil |

| ID | Location | Material Type | Sample No. | Analysis Result | Extent | Condition | Friability | Disturbance Potential | Risk Status | Re-inspect Date | Control Priority | Control Recommendation | Removed | Photos |
|--------------------------|---|--------------------------|------------|---|--------------------|-----------|-------------|-----------------------|-------------|-----------------|--|---|---|--|
| Exterior (Cont..) | | | | | | | | | | | | | | |
| 30 | Western side of the building Gutters | Asbestos Cement Sheeting | - | Positive <i>Asbestos Detected (Visually Assessed)</i> | 25 lineal metres | Good | Non-Friable | Low | Low | Dec 2022 |  P3 | Label and maintain in good condition, and do not disturb (e.g. do not drill, cut grind or sand). Remove by a licensed Class A or Class B asbestos removalist as soon as practicable and prior to any refurbishment or demolition works. | Date: _____ Removed by: _____ Report: _____ | Photo 30  |
| | | | | | | | | | | | | | | Asbestos Cement Sheeting |
| Interior | | | | | | | | | | | | | | |
| 31 | Corrugated roof Underside of roof throughout | Asbestos Cement Sheeting | - | Positive <i>Asbestos Detected (Visually Assessed)</i> | ~350m ² | Good | Non-Friable | Low | Low | Dec 2022 |  P3 | Label and maintain in good condition, and do not disturb (e.g. do not drill, cut grind or sand). Remove by a licensed Class A or Class B asbestos removalist as soon as practicable and prior to any refurbishment or demolition works. | Date: _____ Removed by: _____ Report: _____ | Photo 31  |
| | | | | | | | | | | | | | | Asbestos Cement Sheeting |
| 32 | Northern and southern ends Upper and lower gables - Wall sheeting | Asbestos Cement Sheeting | - | Positive <i>Asbestos Detected (Visually Assessed)</i> | ~60m ² | Good | Non-Friable | Low | Low | Dec 2022 |  P3 | Label and maintain in good condition, and do not disturb (e.g. do not drill, cut grind or sand). Remove by a licensed Class A or Class B asbestos removalist as soon as practicable and prior to any refurbishment or demolition works. | Date: _____ Removed by: _____ Report: _____ | Photo 32  |
| | | | | | | | | | | | | | | Asbestos Cement Sheeting |

| ID | Location | Material Type | Sample No. | Analysis Result | Extent | Condition | Friability | Disturbance Potential | Risk Status | Re-inspect Date | Control Priority | Control Recommendation | Removed | Photos |
|--------------------------|---|--------------------------|------------|---|------------------|-----------|-------------|-----------------------|-------------|-----------------|--|--|---|--|
| Interior (Cont..) | | | | | | | | | | | | | | |
| 33 | South-east toilet and office rooms Throughout | Various | - | Negative No Asbestos Detected (Visually Assessed) | - | - | - | - | - | - | - | - | - | Photo 33  |
| | | | | | | | | | | | | | | Toilet |
| 34 | Southern wall Western end - Meter boxes (x2) | Electrical Backing Board | - | Positive Asbestos Detected (Visually Assessed) | ~2m ² | Good | Non-Friable | Low | Low | Dec 2022 |  P3 | Label, maintain in good condition, and do not disturb (e.g. do not drill, cut grind or sand). Remove by a licensed Class A or Class B asbestos removalist as soon as practicable and prior to any refurbishment, demolition works or any electrical works that require drilling. | Date: _____ Removed by: _____ Report: _____ | Photo 34  |
| | | | | | | | | | | | | | | Electrical Backing Board |

ASBESTOS BUILDING MATERIALS REGISTER

Prepared by Getex

House

Site Address: 9A-11 Racecourse Road




Investigated: 12 December 2019






WEST GOSFORD NSW 2250





Consultant: Lee Hands BSc (Hons)









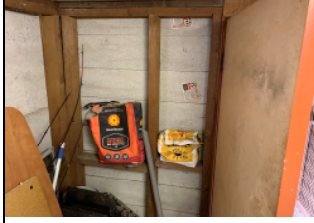
Asset Photo






| ID | Location | Material Type | Sample No. | Analysis Result | Extent | Condition | Friability | Disturbance Potential | Risk Status | Re-inspect Date | Control Priority | Control Recommendation | Removed | Photos |
|----------|---|--------------------------|---------------|---|-------------------|-----------|-------------|-----------------------|-------------|-----------------|---|---|--|---|
| Exterior | | | | | | | | | | | | | | |
| 35 | Eaves and awnings Soffit boards | Asbestos Cement Sheeting | 11222.07/AS14 | Positive <i>Chrysotile Asbestos Detected</i> | ~24m ² | Good | Non-Friable | Low | Low | Dec 2022 |  P3 | Label and maintain in good condition, and do not disturb (e.g. do not drill, cut grind or sand). Remove by a licensed Class A or Class B asbestos removalist as soon as practicable and prior to any refurbishment or demolition works. | Date: ____/____/____ Removed by: ____ Report: ____ | Photo 35  |
| | | | | | | | | | | | | | | Asbestos Cement Sheeting |
| 36 | Roof Gable ends (x2) - Between outer roof tile and fascia - Cement sheeting lining | Fibre Cement Sheeting | 11222.07/AS17 | Negative No Asbestos Detected | - | - | - | - | - | - | - | - | - | Photo 36  |
| | | | | | | | | | | | | | | Fibre Cement Sheeting |

| ID | Location | Material Type | Sample No. | Analysis Result | Extent | Condition | Friability | Disturbance Potential | Risk Status | Re-inspect Date | Control Priority | Control Recommendation | Removed | Photos |
|--------------------------------|---|--------------------------------|------------|---|--------------------|-----------|-----------------|-----------------------|-------------|-----------------|--|--|---|--|
| Exterior (Cont..) | | | | | | | | | | | | | | |
| 37 | Southern wall Meter boxes (x2) - Electrical backing board | Timber | - | Negative No Asbestos Detected (Visually Assessed) | - | - | - | - | - | - | - | - | - | Photo 37  |
| | | | | | | | | | | | | | | Timber |
| 38 | Wall cladding Weatherboards - Throughout | Asbestos Cement Sheeting | - | Positive <i>Asbestos Detected (Visually Assessed)</i> | ~155m ² | Good | Non- Friable | Low | Low | Dec 2022 |  P3 | Label and maintain in good condition, and do not disturb (e.g. do not drill, cut grind or sand). Remove by a licensed Class A or Class B asbestos removalist as soon as practicable and prior to any refurbishment or demolition works. | Date: ____/____/____ Removed by: _____ Report: _____ | Photo 38  |
| | | | | | | | | | | | | | | Asbestos Cement Sheetting |
| Interior - Ground Floor | | | | | | | | | | | | | | |
| 39 | Centre hallway Meter box | Electrical Backing Board | - | Assumed Positive <i>Assumed to Contain Asbestos (Visually Assessed)</i> | ~1m ² | Good | Non- Friable | Low | Low | Dec 2022 |  P3 | Label, maintain in good condition, and do not disturb (e.g. do not drill, cut grind or sand). Remove by a licensed Class A or Class B asbestos removalist as soon as practicable and prior to any refurbishment, demolition works or any electrical works that require drilling. | Date: ____/____/____ Removed by: _____ Report: _____ | Photo 39  |
| | | | | | | | | | | | | | | Electrical Backing Board |

| ID | Location | Material Type | Sample No. | Analysis Result | Extent | Condition | Friability | Disturbance Potential | Risk Status | Re-inspect Date | Control Priority | Control Recommendation | Removed | Photos |
|--|---|--------------------------------|--|--|------------------|-----------|-----------------|-----------------------|-------------|-----------------|--|---|---|--|
| Interior - Ground Floor (Cont..) | | | | | | | | | | | | | | |
| 40 | Centre hallway Northern wall - Cavity space - Eastern wall - Weatherboards | Asbestos Cement Sheeting | - | Positive <i>Asbestos Detected (Visually Assessed)</i> | ~3m ² | Moderate | Non- Friable | Low | Low | Dec 2022 |  P3 | Label materials, restrict access and remove by a licensed Class A or Class B asbestos removalist as soon as practicable and prior to any refurbishment or demolition works. | Date: ____/____/____ Removed by: _____ Report: _____ | Photo 40  |
| | | | | | | | | | | | | | | Asbestos Cement Sheeting |
| 41 | Centre hallway Northern wall - Cavity space - Northern wall - Sheeting | Fibre Cement Sheeting | Same as Sample 11222.07/ AS12 | Negative No Asbestos Detected (Assessed to be similar to previous sample) | - | - | - | - | - | - | - | - | - | Photo 41  |
| | | | | | | | | | | | | | | Fibre Cement Sheeting |
| 42 | Eastern toilet and laundry Walls | Fibre Cement Sheeting | 11222.07/ AS11 | Negative No Asbestos Detected | - | - | - | - | - | - | - | - | - | Photo 42  |
| Comments: Some walls have skim plaster over fibre cement sheeting. | | | | | | | | | | | | | | Fibre Cement Sheeting |

| ID | Location | Material Type | Sample No. | Analysis Result | Extent | Condition | Friability | Disturbance Potential | Risk Status | Re-inspect Date | Control Priority | Control Recommendation | Removed | Photos |
|---|---|-----------------------|------------------------------|---|--------|-----------|------------|-----------------------|-------------|-----------------|------------------|------------------------|---------|---|
| Interior - Ground Floor (Cont..) | | | | | | | | | | | | | | |
| 43 | North-east entrance hall Northern boiler cupboard - Walls | Fibre Cement Sheeting | Same as Sample 11222.07/AS12 | Negative No Asbestos Detected (Assessed to be similar to previous sample) | - | - | - | - | - | - | - | - | - | Photo 43  |
| | | | | | | | | | | | | | | Fibre Cement Sheeting |
| 44 | North-east entrance hall Walls | Fibre Cement Sheeting | Same as Sample 11222.07/AS12 | Negative No Asbestos Detected (Assessed to be similar to previous sample) | - | - | - | - | - | - | - | - | - | Photo 44  |
| | | | | | | | | | | | | | | Fibre Cement Sheeting |
| 45 | North-east laundry Walls and ceiling | Fibre Cement Sheeting | 11222.07/AS12 | Negative No Asbestos Detected | - | - | - | - | - | - | - | - | - | Photo 45  |
| | | | | | | | | | | | | | | Fibre Cement Sheeting |

| ID | Location | Material Type | Sample No. | Analysis Result | Extent | Condition | Friability | Disturbance Potential | Risk Status | Re-inspect Date | Control Priority | Control Recommendation | Removed | Photos |
|--|--|--------------------------|------------------------------|---|------------------|-----------|-------------|-----------------------|-------------|-----------------|---|---|--|---|
| Interior - Ground Floor (Cont..) | | | | | | | | | | | | | | |
| 46 | North-east store room Ceiling | Fibre Cement Sheeting | Same as Sample 11222.07/AS12 | Negative No Asbestos Detected (Assessed to be similar to previous sample) | - | - | - | - | - | - | - | - | - | Photo 46  |
| | | | | | | | | | | | | | | Fibre Cement Sheeting |
| 47 | North-east store room Eastern wall - Mounting board | Fibre Cement Sheeting | Same as Sample 11222.07/AS12 | Negative No Asbestos Detected (Assessed to be similar to previous sample) | - | - | - | - | - | - | - | - | - | Photo 47  |
| | | | | | | | | | | | | | | Fibre Cement Sheeting |
| 48 | Southern wall Interior side of weatherboards | Asbestos Cement Sheeting | - | Positive Asbestos Detected (Visually Assessed) | ~2m ² | Good | Non-Friable | High | Low | Dec 2022 |  P3 | Maintain in good condition, and do not disturb (e.g. do not drill, cut grind or sand). Remove by a licensed Class A or Class B asbestos removalist as soon as practicable and prior to any refurbishment or demolition works. | Date: ____/____/____ Removed by: ____ Report: ____ | Photo 48  |
| Comments: Recommend to seal with paint to prevent accidental damage. Labelled with manufacturers label indicating product contains small percentage of asbestos. | | | | | | | | | | | | | | Asbestos Cement Sheeting |

| ID | Location | Material Type | Sample No. | Analysis Result | Extent | Condition | Friability | Disturbance Potential | Risk Status | Re-inspect Date | Control Priority | Control Recommendation | Removed | Photos |
|----------------------------------|--|--------------------------|------------------------------|---|-------------------|-----------|-------------|-----------------------|-------------|-----------------|--|---|---|--|
| Interior - First Floor | | | | | | | | | | | | | | |
| 49 | Bathroom Floor - Sheeting under tiles (accessed via ground floor northern boiler cupboard) | Asbestos Cement Sheeting | 11222.07/AS13 | Positive <i>Chrysotile Asbestos Detected</i> | ~20m ² | Good | Non-Friable | Low | Low | Dec 2022 |  P3 | Label and maintain in good condition, and do not disturb (e.g. do not drill, cut grind or sand). Remove by a licensed Class A or Class B asbestos removalist as soon as practicable and prior to any refurbishment or demolition works. | Date: _/_/_/ Removed by: _____ Report: _____ | Photo 49  |
| | | | | | | | | | | | | | | Asbestos Cement Sheeting |
| 50 | Bathroom Walls | Fibre Cement Sheeting | Same as Sample 11222.07/AS12 | Negative No Asbestos Detected (Assessed to be similar to previous sample) | - | - | - | - | - | - | - | - | - | Photo 50  |
| | | | | | | | | | | | | | | Fibre Cement Sheeting |
| Interior - Ceiling Cavity | | | | | | | | | | | | | | |
| 51 | Gable ends Interior face of weatherboards | Asbestos Cement Sheeting | - | Positive <i>Asbestos Detected (Visually Assessed)</i> | ~20m ² | Good | Non-Friable | Low | Low | Dec 2022 |  P3 | Label and maintain in good condition, and do not disturb (e.g. do not drill, cut grind or sand). Remove by a licensed Class A or Class B asbestos removalist as soon as practicable and prior to any refurbishment or demolition works. | Date: _/_/_/ Removed by: _____ Report: _____ | Photo 51  |
| | | | | | | | | | | | | | | Asbestos Cement Sheeting |

ASBESTOS BUILDING MATERIALS REGISTER

Prepared by Getex

Garage

Site Address: 9A-11 Racecourse Road




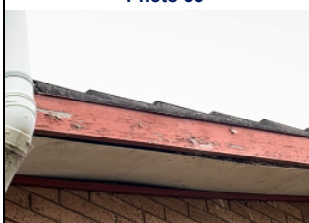
Investigated: 12 December 2019


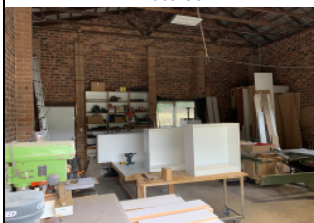
WEST GOSFORD NSW 2250

Consultant: Lee Hands BSc (Hons)



Asset Photo

| ID | Location | Material Type | Sample No. | Analysis Result | Extent | Condition | Friability | Disturbance Potential | Risk Status | Re-inspect Date | Control Priority | Control Recommendation | Removed | Photos |
|----------|--|--------------------------|---------------|--|-------------------|-----------|-------------|-----------------------|-------------|-----------------|---|---|--|--|
| Exterior | | | | | | | | | | | | | | |
| 52 | Eaves Soffit boards | Asbestos Cement Sheeting | 11222.07/AS16 | Positive <i>Chrysotile Asbestos Detected</i> | ~12m ² | Good | Non-Friable | Low | Low | Dec 2022 |  P3 | Label and maintain in good condition, and do not disturb (e.g. do not drill, cut grind or sand). Remove by a licensed Class A or Class B asbestos removalist as soon as practicable and prior to any refurbishment or demolition works. | Date: _/_/_ Removed by: _____ Report: _____ | Photo 52  |
| | | | | | | | | | | | | | | Asbestos Cement Sheeting |
| 53 | Roof Gable ends (x2) - Between outer roof tile and fascia - Cement sheeting lining | Asbestos Cement Sheeting | 11222.07/AS15 | Positive <i>Chrysotile Asbestos Detected</i> | 14 lineal metres | Good | Non-Friable | Low | Low | Dec 2022 |  P3 | Label and maintain in good condition, and do not disturb (e.g. do not drill, cut grind or sand). Remove by a licensed Class A or Class B asbestos removalist as soon as practicable and prior to any refurbishment or demolition works. | Date: _/_/_ Removed by: _____ Report: _____ | Photo 53  |
| | | | | | | | | | | | | | | Asbestos Cement Sheeting |

| ID | Location | Material Type | Sample No. | Analysis Result | Extent | Condition | Friability | Disturbance Potential | Risk Status | Re-inspect Date | Control Priority | Control Recommendation | Removed | Photos |
|--------------------------|-------------------------------|---------------|------------|--|--------|-----------|------------|-----------------------|-------------|-----------------|------------------|------------------------|---------|--|
| Exterior (Cont..) | | | | | | | | | | | | | | |
| 54 | Southern wall Switch box | Metal | - | Negative No Asbestos Detected (Visually Assessed) | - | - | - | - | - | - | - | - | - | Photo 54  |
| | | | | | | | | | | | | | | <i>Metal Switchbox</i> |
| Interior | | | | | | | | | | | | | | |
| 55 | Garage interior Throughout | Various | - | Negative No Asbestos Detected (Visually Assessed) | - | - | - | - | - | - | - | - | - | Photo 55  |
| | | | | | | | | | | | | | | <i>Garage Interior</i> |

9. RISK AND PRIORITY CALCULATION

To assess the health risk posed by the presence of asbestos materials, relevant factors have been considered:

| Rating | Descriptor | Description |
|--------|---------------|--|
| 1 | Insignificant | No illness will result as asbestos is stable; therefore there is little likelihood of inhaling fibres above normal ambient levels. |
| 2-3 | Minor | Local fibre release only and in amounts and fibre size that are unlikely to cause latent asbestos related illness. |
| 4-6 | Moderate | Asbestos may be unstable and could release fibres in the amount and size that may cause latent asbestos related illness. |
| 7-8 | Major | Asbestos is unstable and will release fibres in the amount and size that will cause latent asbestos related illness. |
| 9 | Catastrophic | Asbestos is highly friable and unstable, fibres will be released in size range and amount that are highly likely to cause latent asbestos related illness. |

Table 9.1 – Consequence or Impact Rating Calculation

| Rating | Descriptor | Description |
|--------|----------------|---|
| 9 | Almost Certain | Is expected to occur in most circumstances – i.e. people regularly in the vicinity. |
| 7-8 | Likely | Will probably occur in most circumstances. |
| 4-6 | Possible | Could occur at any time. |
| 2-3 | Unlikely | Might occur at some time. |
| 1 | Rare | May occur only in exceptional circumstances. |

Table 9.2 – Likelihood of Exposure Calculation

The above factors were considered for each individual occurrence of asbestos containing materials and were combined in the following Risk Calculator matrix in order to calculate the health risk of the asbestos containing material.

| Consequence Likelihood | 9 | 7-8 | 4-6 | 2-3 | 1 |
|---------------------------|--------|--------|--------|--------|--------|
| 9 | High | High | High | Medium | Medium |
| 7-8 | High | High | Medium | Medium | Low |
| 4-6 | High | Medium | Medium | Medium | Low |
| 2-3 | High | Medium | Medium | Low | Low |
| 1 | Medium | Medium | Low | Low | Low |

Table 9.3 – Risk Calculator

In accordance with the above methodology, risk is reported in this register using the following terms:

| |
|--------|
| High |
| Medium |
| Low |
| Low |

To assist with the management of your Site, each item in the register assessed to contain asbestos is assigned a Control Priority Rating of 1 to 4 as depicted by the icons below. All items in the register assessed to have a High risk are designated as Control Priority 1 (red icon below). Control Priority 2 (orange icon) items are considered to be Medium Risk. Control Priorities 3 and 4 (yellow and light-yellow icons) are considered to be Low Risk.

Please note that both priority 1 and 2 items pose an **unacceptable asbestos exposure health and safety risk** under present conditions. To **ensure that the site is safe for continued use**, these materials need to be remediated (as per controls recommended within the register) and an **Asbestos Clearance Certificate** obtained as per **your obligations under the Work Health & Safety Regulations 2011**.



P1

High



P2

Medium



P3

Low



P4

Low

As a general rule, Control Priorities 3 and 4 may remain in place provided they are not disturbed e.g. do not drill, cut, grind or sand. All asbestos materials on Site are to be managed in accordance with the Safe Work Australia Code of Practice (How to Safely Remove Asbestos); and the Code of Practice (How to Manage and Control Asbestos in the Workplace).

10. RECOMMENDATIONS

10.1 Recommendations by Priority

10.1.1 High Priority Recommendations (P1)



P1

High priority items (Control Priorities P1) pose an unacceptable asbestos exposure health and safety risk under present conditions and require urgent remedial action.

P1 items are generally in poor to moderate condition and if asbestos are generally friable in nature. The risk to public health and safety posed by these items is considered to be extreme.

Some examples of P1 items are friable asbestos in dust and friable asbestos lagging debris.

Restrict access to areas containing P1 items immediately and erect signage at the entrances to the area. To ensure that the site is safe for continued use, these materials are to be remediated (as per controls recommended within the register) and a relevant Clearance Certificate obtained as per your obligations under the Work Health & Safety Regulations 2011 as soon as practicable.

If there is any significant delay in remediating these items, it is recommended that background monitoring be conducted in adjacent areas to assess the possible exposure pathways for airborne asbestos fibres and the suitability of these areas for normal activities to proceed.

10.1.2 Medium Priority Recommendations (P2)



P2

Medium priority items (Control Priorities P2) also pose an unacceptable asbestos exposure health and safety risk under present conditions and require remedial action as soon as practicable.

P2 items are generally in poor to moderate condition though generally non-friable in nature. The risk to public health and safety posed by these items is considered to be significant.

Some examples of P2 items are asbestos cement debris and asbestos cement sheeting in moderate condition.

Limit access to these areas as much as is practicable immediately and erect signage at the entrances to the area. To ensure that the site is safe for continued use, these materials are to be remediated (as per controls recommended within the register) and an Asbestos Clearance Certificate obtained as per your obligations under the Work Health & Safety Regulations 2011 as soon as practicable.

10.1.3 Low Priority Recommendations (P3 and P4)



P3

Low Priority items listed in the register (Control Priorities P3 and P4) may remain in place provided they are not disturbed e.g. do not drill, cut, grind or sand.

In some cases, these materials may require sealing of damaged sections or unsealed edges. Please refer to the control measures for the relevant item for more information on how these materials are to be managed.



P4

Some examples of P3 items are asbestos cement sheeting or asbestos vinyl tiles in good condition or with only minor damage. P4 items are by their placement restricted from any significant disturbance, for example, materials that are height restricted such as some asbestos eaves.

P3 and P4 items must be removed prior to any refurbishment or demolition activities within the relevant area.

10.1.4 Remedial Action



Remediated

Being familiar with the site, Getex can provide you with cost effective licensed asbestos remediation and an Asbestos Clearance Certificate to certify that the site is safe for continued use.

Please contact Getex on (02) 9889 2488 for further information on how Getex can assist in ensuring your site is safe with respect to asbestos.

ASBESTOS MANAGEMENT PLAN

Asbestos materials were identified on the Site. Please refer to the Asbestos Register in Section 8 for specific controls to be implemented with respect to each item identified.

Further to the measures outlined within the Asbestos Register, the controls of the Asbestos Management Plan (AMP) outlined in the following Sections are to be implemented by the personnel identified below in order for effective ongoing control of the identified asbestos containing materials located at the Site.

This asbestos management plan is to be read in conjunction with Sections 1 to 10 of the Asbestos Register.

11. ASBESTOS DEFINITIONS

Asbestos Related Works

Any activities that may disturb asbestos containing materials in any way.

Friable Asbestos

WH&S Regulation 2017

Friable asbestos material means material that:

- a) Is in powder form or that can be crumbled, pulverised, or reduced to a powder by hand pressure when dry, and
- b) Contains asbestos.

Safe Work Australia Code of Practice (How to Safely Remove Asbestos) approved under Section 274 of the Work Health and Safety Act 2011

Means material that is in a powder form or that can be crumbled, pulverised or reduced to a powder by hand pressure when dry, and contains asbestos.

Bonded Asbestos (Non-Friable Asbestos)

WH&S Regulation 2017

Bonded asbestos material means any material (other than friable asbestos material) that contains asbestos.

Safe Work Australia Code of Practice (How to Safely Remove Asbestos) approved under Section 274 of the Work Health and Safety Act 2011

Means material containing asbestos that is not friable asbestos, including material containing asbestos fibres reinforced with a bonding compound.

Note: Non-friable asbestos may become friable through deterioration (see definition of friable asbestos).

Emergency Situation

Uncontrolled disturbance of any asbestos containing material.

Permit to Work

A document completed by contractors before commencing work acknowledging that they:

- Have read and understood the Asbestos Register & Management Plan;
- Are aware of their legal obligations under the Work Health and Safety Act 2011;
- Have been provided the appropriate awareness training with regards to asbestos,
- Reviewed safety controls with regard to the asbestos identified, and
- Have reviewed the sites existing Asbestos Register and Management Plan, or any recent changes to the Asbestos Register and Management Plan.

12. ACCESSING THE ASBESTOS MANAGEMENT PLAN

The Site Owner must ensure that the Asbestos Management Plan is provided and readily accessible to:

- Any worker who has carried out, carries out or intends to carry out asbestos related work at the Site;
- Health and safety representatives who represent workers that carry out or intend to carry out asbestos related work at the Site;
- Any person conducting a business or undertaking who has carried out, carries out or intends to carry out asbestos related work at the Site; and
- Any person conducting a business or undertaking who has required, requires or intends to require asbestos related work to be carried out at the Site.
- Records of the individuals supplied with the Asbestos Management Plan must be kept by Property Owners for a period of up to 5 years.

13. HIERARCHY OF CONTROL

Busways Group Pty Ltd is to ensure that a hierarchy of control is established between individuals identified within each level of control and those individuals made responsible for the effective implementation of the Asbestos Management Plan (AMP):

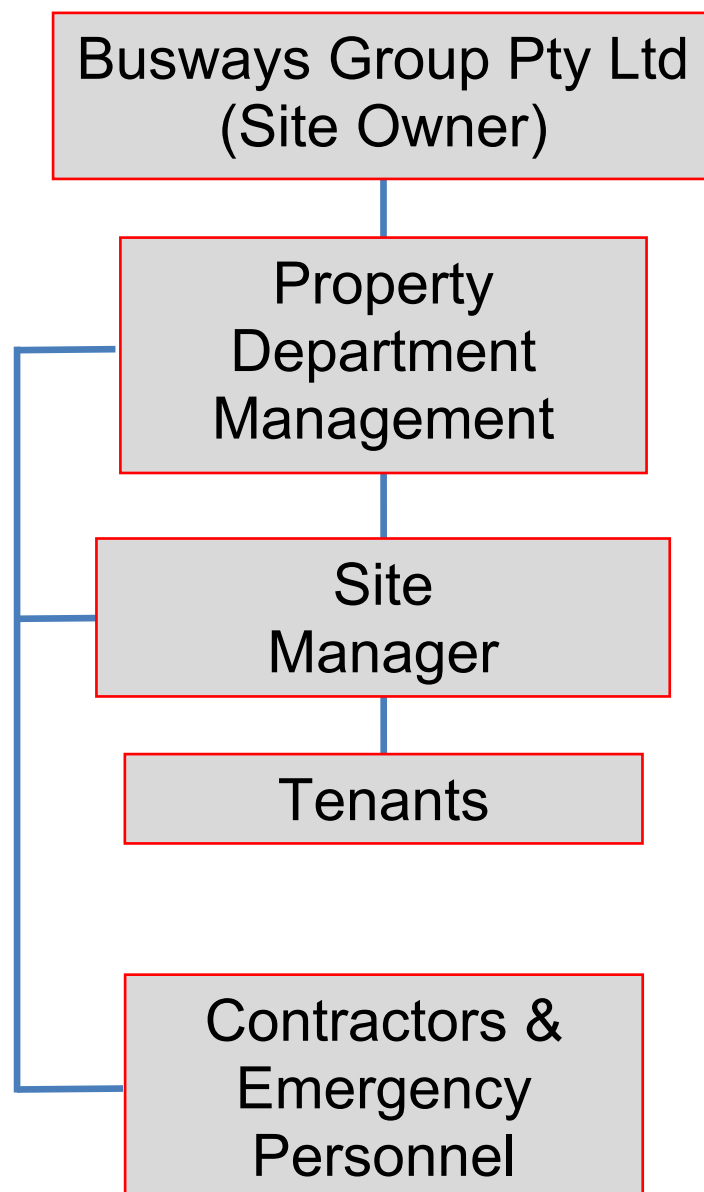


Figure 2 – Hierarchy of Control

14. RESPONSIBILITIES

14.1 Responsibilities of the Site Owner

The Site Owner Busways Group Pty Ltd has the following responsibilities in relation to the implementation and management of this AMP:

- Ensure copy of the Asbestos Building Materials Register & Asbestos Management Plan for the Site is available to all site personnel, including maintenance workers (i.e. a current hard copy is stored in an easily accessible location and all workers are informed of its location);
- Ensure that these parties clearly understand the content and requirements of the AMP and ensure that compliance with the AMP is a condition of any legal agreement with these parties;
- Contractors undertaking friable asbestos related works must have a current Class A licence and Contractors undertaking any other asbestos related works must have either a current Class A or Class B asbestos licence;
- Engage an Occupational Hygienist to undertake a risk assessment of suspect material if concerns are raised regarding the condition of asbestos containing material or if there is a significant change in the condition of the asbestos containing material;
- Maintain records relating to the management of asbestos at the Site;
- Update the AMP if the management become aware that Site conditions have changed and inform all relevant other parties of the changes;
- Ensure that the minimum recommendations of this AMP and all legislative requirements are implemented on Site and ensure that where practicable or feasible any further recommended control or remediation measures recommended within this AMP are implemented; and
- Respond to any inquiries relating to the management of contamination issues at the Site.

14.2 Responsibilities of the Property Department Management

The following statements are the responsibility of the Property Department Management in relation to the implementation and management of this AMP:

- Implement the above steps outlined above in Section 14.1;
- Ensure all Site personnel have read and understand this AMP;
- Ensure that all work practices on Site comply with those outlined with in this document and relevant Codes of Practice and legislation guidelines;

- Inform the Site Owner when Site conditions have changed with regards to asbestos management; and
- Respond to any inquiries relating to the management of asbestos contamination issues at the Site.

14.3 Responsibilities of the Site Manager

The following statements are the responsibility of the Site Manager responsible for the Site in relation to the implementation and management of this AMP:

- The Asbestos Building Materials Register & Asbestos Management Plan has been read and asbestos containing materials located physically on Site;
- Ensure all tenants, contractors and visitors who in the course of their work on site may come into contact with asbestos, have fully read and understand this AMP at the site sign on register;
- Inform the Property Department Management if they become aware that Site conditions as they relate to asbestos containing materials have changed;
- Comply with this AMP for all works undertaken; and
- Relay any inquiries relating to the management of asbestos contamination issues within the site to the Property Department Management.

14.4 Responsibilities of Tenants Residing at the Site

The following statements are the responsibility of the tenants residing at Site in relation to the implementation and management of this AMP:

- To ensure that any activities conducted at the Site does not disturb the identified asbestos materials and to comply with guidelines outlined within this document and relevant Codes of Practice and legislation guidelines;
- Comply with the AMP for all activities at the Site;
- Inform the Site if they become aware that Site conditions as they relate to asbestos containing materials have changed; and
- Relay any inquiries relating to the management of asbestos contamination issues within the building to the Site Manager.

14.5 Responsibilities of Contractors & Emergency Personnel Working On-Site

The following statements are the responsibility of contractors and emergency personnel working on-site in relation to the implementation and management of this AMP:

- If the work does or is likely to come into contact or near asbestos materials, ensure a Safe Work Permit document has been filled out before starting works (i.e. asbestos risks and controls are suitably outlined in their Safe Work Method Statement);
- To ensure that work practices comply with those outlined with in this document and relevant Codes of Practice and legislation guidelines;
- Staff members employed have been suitably trained in the jobs that they are required to perform (including asbestos related work) and that they have been inducted to the Site;
- The Asbestos Building Materials Register & Asbestos Management Plan has been read and asbestos containing materials located physically on Site (if required);
- Comply with this AMP for all works undertaken;
- Inform the relevant person controlling the works if conditions change significantly from those documented in the AMP; and
- Attend the Site in possession of the appropriate PPE (if required).

15. CONSULTATION, INFORMATION AND INDUCTION

As per the Safe Work Australia Code of Practice (How to Manage & Control Asbestos in the Workplace), in the case of any works (including emergency works) taking place at asbestos affected areas, Busways Group Pty Ltd are to ensure that all maintenance staff, tenants, contractors and emergency personnel undertaking work at asbestos affected areas have undergone an appropriate site specific induction in relation to the asbestos containing material that is present at the Site. The induction program is to be inclusive of the following:

- Information about asbestos containing material to which contractors/employees are or may be exposed to in the course of their work. Information is to include the nature of the hazard, identification of asbestos containing material and risks to health arising from exposure.
- Information about the location of the asbestos.
- Details of the asbestos containing material onsite, including processes and safe work procedures to be followed to prevent exposure.
- Procedures to be followed in case of an emergency involving exposure of asbestos containing material.
- Incident reporting procedures to be followed in case of exposure or potential exposure of asbestos containing material.
- The purpose of any exposure monitoring or health monitoring that may occur and the exposure standard for asbestos.

- Records of all inductions must be kept for five years after the day the worker stops carrying out the **asbestos related work**. These records must also be available for inspection by the regulator (i.e. SafeWork NSW).
- Any contractor, maintenance staff, employee or other authorised persons who may potentially disturb asbestos containing materials on site must acknowledge within their Safe Work Method Statement and Risk Assessment the presence of asbestos within their work area and the appropriate controls are to be subsequently implemented.

16. LABELLING

All identified or assumed asbestos must be clearly indicated (including where asbestos is in inaccessible areas). If it is reasonably practicable, labels must be used to identify the material as containing asbestos. Signs may also be used if they are deemed more appropriate for use.

The labelling of all asbestos containing materials identified on Site is to be conducted by a competent person. Locations of labels should be consistent with the location listed within the register.

Where not reasonably practicable to label asbestos a prominent warning sign is to be displayed in the immediate vicinity of the asbestos or at the entrances to locations that contain asbestos.

All labels and signs are to comply with Australian Standards AS 1216 and AS 1319. Some Examples of Labels are provided below:



Figure 3 – Asbestos Warning Labels and Tape
(image derived from Code of Practice How to Manage Asbestos in the Workplace and Google Images)

Getex recommends that the five buildings at the Site that were identified as containing asbestos materials have an asbestos warning label attached in a prominent position similar to the image above which contains wording such as:

“Warning Asbestos Containing Materials Existing Within This Building. Consult Asbestos Register Prior to Commencing Work”.

Where friable asbestos has been identified on the ground surfaces, Getex recommends that the area is to be suitably barricaded. A suitable barricade consists of asbestos warning tape similar to the image above tied to star pickets with wording such as:

“Caution Asbestos Hazard”.

17. GENERAL STEPS REQUIRED DURING ASBESTOS RELATED WORKS

Where asbestos containing materials are likely to be affected during renovations or maintenance work, they are to be removed by a suitably qualified licensed Class A or Class B asbestos removalist.

- All non-friable asbestos remediation works greater than 10m² is to be undertaken by either a Class A or Class B licensed asbestos contractor.
- All friable asbestos remediation work is only to be undertaken by a Class A licensed asbestos contractor.

If additional suspected ACM are encountered cease all demolition or refurbishment activities pending further investigation by a suitably qualified occupational hygienist such as Getex. Any material discovered that is suspected to be asbestos should be assumed to contain asbestos with relevant area(s) isolated until expert advice is obtained. Refer to the flowchart in Section 18 – Emergency Procedures for further information.

All asbestos removal works must be carried out in accordance with the Safe Work Australia Code of Practice (How to Safely Remove Asbestos); and the Code of Practice (How to Manage and Control Asbestos in the Workplace). This includes the preparation of an Asbestos Removal Control Plan prior to the commencement of any work involving asbestos.

17.1 General Requirements for Contractors Undertaking Asbestos Related Works

The company undertaking the removal work is to provide evidence of the following:

- Those employees undertaking the work have undergone an appropriate induction and training program inclusive of the following:
- Information of the asbestos containing materials to which employees are or may be exposed in the course of their work. Information is to include the nature of the hazard, risks to health arising from exposure, the degree of exposure and routes of entry into the body of asbestos;
- Assessment process and how the employee can contribute;
- Measures used to control exposure to asbestos containing material, including any information that the employee requires for the correct use and maintenance of control measures;
- Work practices and procedures to be followed in the use, handling, processing, storage, transportation, cleaning up and disposal of asbestos containing material;
- Importance of minimising the creation of asbestos dust in the workplace atmosphere, and the specific nature of operations which could result in exposure;

- Proper use and fitting of personal protective equipment, as well as any special decontamination procedures to be followed by employees required to use personal protective equipment;
- Nature of, and reasons for atmospheric monitoring and access to the results of the monitoring;
- Nature of, and reasons for health surveillance required in order to detect the effects of exposure to asbestos containing material;
- Importance of maintaining a high level of personal hygiene and not smoking in the workplace;
- Procedures to be followed in case of an emergency involving asbestos exposure;
- First aid and incident reporting procedures to be followed in case of injury or illness;
- Employees' rights and obligations in relation to health surveillance;
- Suppliers', employers' and employees' duties under the NSW Work Health and Safety Regulation 2011 Chapter 8 (Asbestos);

Please note Getex provides induction and training programs for workers in accordance with the applicable regulatory guidelines noted above.

- Those employees undertaking the work are involved in a health surveillance program to monitor:
 - The functioning of their respiratory system.

17.2 Airborne Asbestos Monitoring

- Airborne asbestos monitoring must be undertaken by an independent licensed asbestos assessor for all friable asbestos removal work that requires a Class A licence.
- For the removal of non-friable asbestos (more than 10m²) an independent licensed asbestos assessor or competent person must be engaged to carry out airborne asbestos monitoring when it is required. It is recommended to conduct airborne asbestos monitoring during non-friable asbestos work if it is being carried out in a or next to a public location.
- The following table defines the actions that should be taken depending on the results of the respirable fibre levels reported within the monitoring results.

| Fibre Concentration Level | Action |
|--|---|
| Less than 0.01 fibres/mL | <ul style="list-style-type: none"> No action required |
| At 0.01 fibres/mL but less than 0.02 fibres/mL | <ul style="list-style-type: none"> Review control measures. Investigate the cause. Implement controls to eliminate or minimise exposure and prevent further release. |
| More than 0.02 fibres/mL | <ul style="list-style-type: none"> Stop removal work. Notify the regulator (SafeWork NSW) by phone followed by a written statement and results of the air monitoring. Conduct a thorough visual inspection of the area and associated equipment in consultation with the workers involved. Implement controls to eliminate or minimise exposure and prevent further release. Do not recommence work until further air monitoring indicates that fibre levels are below 0.01 fibres/mL. |

Table 17.1 – Airborne Asbestos Fibre Concentration Action Levels (adopted from Table 2 air monitoring action levels in Code of Practice How to Safely Remove Asbestos)

- Busways Group Pty must ensure that the results of the airborne asbestos monitoring are given to the following people:
 - Workers at the Workplace;
 - Health and safety representatives for the workplace;
 - Any other PCBU's at the workplace; and
 - Other people at the workplace.

17.3 Asbestos Clearance Inspections

- Busways Group Pty Ltd must ensure that once licensed asbestos removal work has been completed:
 - A clearance inspection is carried out; and
 - A clearance certificate in writing is issued before the workplace can be re-occupied.
- Clearance inspections must be carried out and clearance certificates issued by:
 - An independent licensed asbestos assessor for friable asbestos removal work that requires a Class A licensed asbestos removalist; or
 - An independent competent person for non-friable asbestos removal work that requires a Class A or Class B asbestos removalist (>10m²).

- Clearance inspections will consist of:
 - A visual inspection to check if all visually identified asbestos containing material has been removed to the standards outlined within the ARCP and the Code of Practice (How to Safely Remove Asbestos).
 - In the case of Friable Asbestos Removal, Clearance Airborne Asbestos Monitoring will also be required.
- Subsequent to a satisfactory clearance inspection result an Asbestos Clearance Certificate will be issued, and the area can be re-occupied upon receipt of the certificate by Busways Group.

17.4 Minor Maintenance Work and Minor Work

If, from time to time scheduled or unscheduled work at the Site involves the minor disturbance of asbestos containing materials then they may be classed as Minor Maintenance Work or Minor Work. The following definitions apply:

- Works that may be conducted as Minor Maintenance Work or Minor Work:
 - Any asbestos work that are classed as non-friable and will involve less than 10m² of asbestos related work.
 - Works involving 10m² or more of non-friable asbestos or any amount of friable asbestos must be conducted as licensed asbestos work by the relevant Class A or Class B asbestos removalist.
- Minor Maintenance Work means:
 - Routine work that is small scale, often short in duration and may be unscheduled. This work may require the partial dismantling of a structure or plant and may include the removal of asbestos such as gaskets or brake components, for example dismantling a piece of plant to remove an asbestos containing gasket, or a piece of plant for the purpose of cleaning or repair
- Minor Work means:
 - Small tasks that are of short duration, such as cutting a small hole or hand-drilling up to a few holes in an asbestos containing sheeting. It is not routine or regular work such as planned maintenance. It is incidental work that can be done quickly and safely using control measures, such as on-tool extraction or shadow vacuuming to capture very small amounts of debris which might contain asbestos and appropriate PPE. Examples of minor work include cutting a small hole into an asbestos containing eave to install a cable, removal of an asbestos-containing vinyl tile to install a plumbing fixture, or hand-drilling a few holes into an asbestos containing sheet to attach a fitting.

17.4.1 Minor Maintenance Work and Minor Work Site Set Up

Prior to the commencement of asbestos related Minor Maintenance Work or Minor Work. The following procedures are to be observed:

- An exclusion zone from the asbestos work area is to be established, barricaded and access restricted using the following controls:
 - Asbestos warning tape and/or barriers and hoardings are to be erected 10 metres from the asbestos removal area, or the use of solid walls etc if closer than 10 metres;
 - Asbestos removal warning signs are to be placed so that they inform people nearby of asbestos removal works taking place and at all entrance points to the asbestos removal work area. Signs should be in accordance with AS 1319-1994 *Safety signs for the occupational environment*; and
 - Access is to be restricted to fully trained and inducted personnel involved in the asbestos removal work. All persons entering the exclusion zone are to wear appropriate PPE. All persons and equipment are to be suitably decontaminated and asbestos waste suitably bagged or wrapped prior to leaving the exclusion zone.
- An appropriate Safe Work Method Statement and Risk Assessment are to be prepared by all parties involved and followed in accordance with site safety procedures. All personnel must read and sign each relevant document.
- An area for decontamination facilities (area for wetting down and disposal of PPE and decontamination of equipment used) is to be established.

17.4.2 General Requirements for Minor Maintenance Work and Minor Work

During asbestos related Minor Maintenance Work or Minor Work the following procedures are to be observed:

- All workers are to wear appropriate Personal Protective Equipment (PPE), including but not limited to:
 - Respiratory protection (a minimum of P2 rated respirator/disposable mask);
 - Disposable overalls (rated Type 5 for particulates);
 - Disposable gloves; and
 - Disposable overshoes (for lace up boots or soft fabric boots).
- Ensure all safety procedures are in place prior to starting work;
- Access to the asbestos work area during removal activities is to be restricted during all removal activities. People working in these areas during the removal process are to wear the appropriate PPE listed above;
- Vacuuming is to be conducted using a class 'H' vacuum fitted with a HEPA filter. All dust collected is to be disposed of as asbestos waste;
- Wet wiping is to be conducted using single use wet cloths, Cloths must not be re-soaked or re-used and must be disposed of as asbestos waste;
- At the completion of each work period and work shift use;
 - The established area for decontamination; and
 - All used PPE and asbestos waste is to be double bagged in 200um plastic bags, sealed by goose necking the bags with duct tape and disposed of as asbestos waste.

17.4.3 Painting or Cleaning of Asbestos Cement Sheetting

During painting or cleaning of asbestos cement sheetting the following procedures are to be observed.

- The asbestos cement sheetting is to be inspected prior to commencing work to ensure that the sheets show no signs of deterioration or damage. If deterioration or damage is observed work must be stopped and emergency response procedures implemented.
- Drop sheets are to be installed within the work area to capture any dust generated and prevent the contamination of the ground/floor surfaces.
- Do not dry sand or use high pressured water cleaning methods.
- When preparing the surface wet wiping may be used. During all wet wiping the rag must not be re-soaked and must be disposed of as asbestos waste after use.

- Apply paint gently using a soft roller or brush or air less spray applicator. High pressure spray methods are not to be used.

17.4.4 Drilling Into Asbestos Cement Sheeting or Backing Boards

During drilling of asbestos cement sheeting works the following procedures are to be observed.

- Drop sheets are to be installed below the drill area to capture any asbestos cement debris and prevent the contamination of the ground/floor surfaces.
- Apply tape to the front and back (if accessible) of the sheet. The tape used should be a heavy-duty tape such as duct tape.
- Apply a generous amount of paste material to the drill and drill through surface.
- Use a non-powered hand drill or a low-speed battery-powered drill or drilling equipment fitted with a local exhaust ventilation (LEV) dust control hood. If a LEV is not available use the *shadow vacuuming technique* during the drilling process.
- All horizontal surfaces within the work area are to be vacuumed clean until no visible signs of dust are present.
- All surfaces are to be wet wiped and the used rags disposed of as asbestos waste.
- A fine mist of PVA solution is to be applied to all surfaces following all drilling works.

18. EMERGENCY RESPONSE

In the event of an uncontrolled disturbance of any asbestos containing material, the following procedures are to be observed:

- An exclusion zone from the contaminated area is to be established, barricaded and access restricted.
- All appropriate signage is to be erected surrounding the exclusion zone, including appropriate asbestos warning signs.
- Establish and utilise an area for decontamination facilities for wetting down and disposal of contaminated clothing (If required).
- An independent consultant competent in asbestos related contamination issues, such as Getex Pty Ltd, is to be contacted to facilitate asbestos management/removal activities.

The following Flow Chart should be utilised to safely and efficiently minimize any risk and return the Site to a safe condition for works to Proceed.

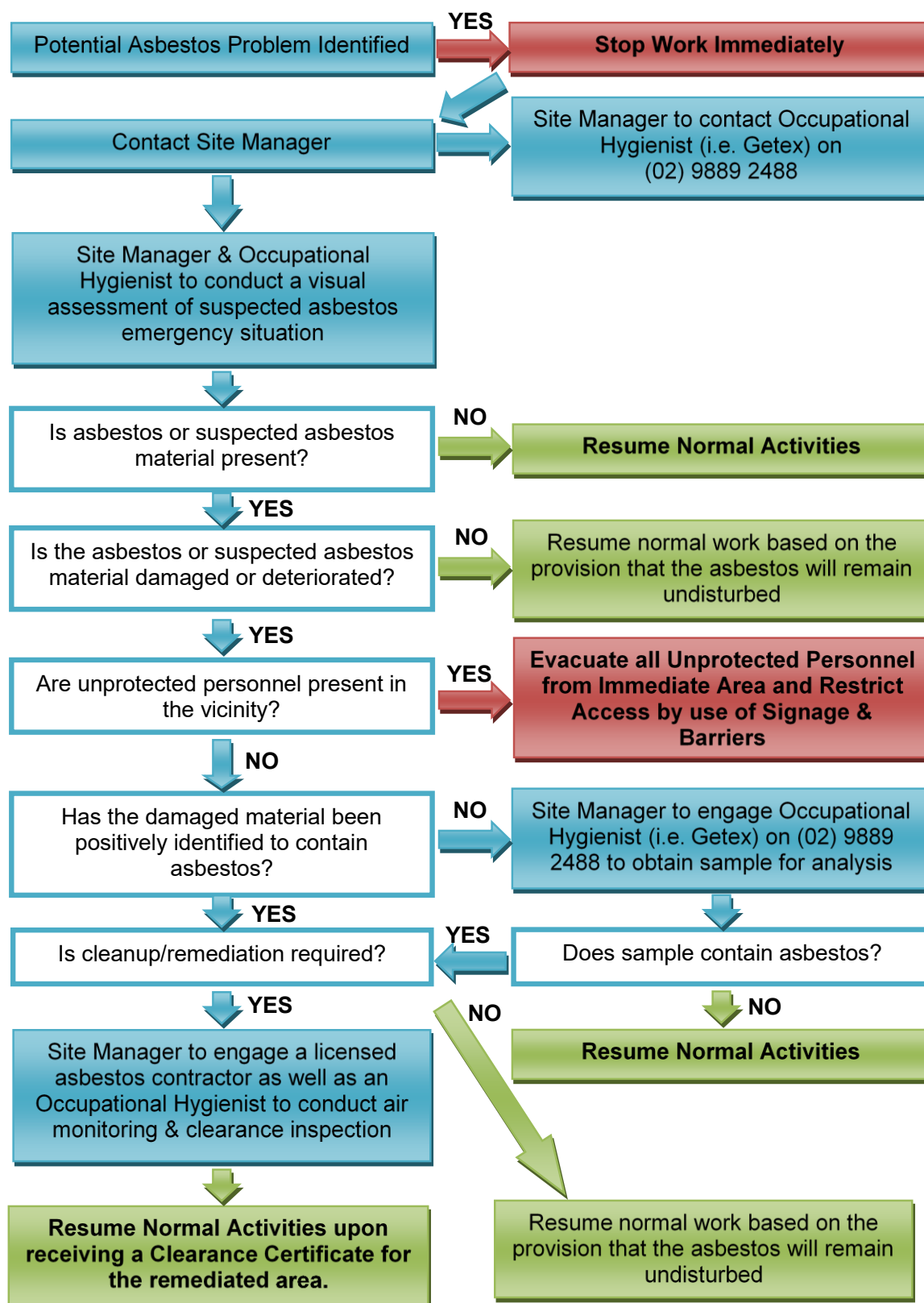


Figure 4 – Emergency Response Flowchart

19. RECORD KEEPING

All documents relating to asbestos at the Site are to be kept by the Property Department Management and must be available to all those who request it. The documents that are required to be kept include but are not limited to all versions of the Asbestos Management Plan relating to the property, all asbestos air monitoring results and all clearance certificates.

Updates to the register and record keeping with respect to the AMP may be undertaken by the Property Department Management or a suitably qualified staff member assigned to the task. Any changes in the condition of asbestos materials, remediation of asbestos items, or unexpected asbestos material finds should be noted in the register along with any relevant documentation by the Property Department Management /assigned staff member.

Each new revision of the AMP will be issued to the Property Department Management and is to be maintained by the Property Department Management under a different version number. Upon receiving or creating an updated version of the AMP the previous version is to be archived as a superseded version of the AMP. Copies of the updated AMP are then to be distributed to the relevant persons with an instruction to destroy the previous copy.

The Property Department Management is to transfer all records in their possession relating to asbestos materials onsite to the Site Owner at their completion of their site management responsibilities for the Site.

The Site Manager is to ensure that the Site is provided with a copy all documents relating to asbestos at the site and that they are kept in a readily accessible location. Outgoing Site Managers must transfer all their records to the incoming Site Managers.

20. REVIEW OF THE ASBESTOS MANAGEMENT PLAN

This AMP is subject to ongoing development as further consultations take place and as further relevant codes of practice and/or advice on asbestos management become available.

The Property Department Management must ensure that the AMP is reviewed and, if necessary, revised at least once every five years (refer to the asbestos register in Section 8 for suggested review time intervals for each asbestos item identified) or when:

- There is a review of the asbestos register or a control measure;
- When asbestos is removed from or disturbed, sealed or enclosed at the site;
- The plan is no longer adequate for managing the asbestos containing material identified on site; or
- A health and safety representative requests a review if they reasonably believe that any of the matters listed in the above points affects or may affect the health and safety of a member of their work group and the asbestos management plan was not adequately reviewed in response to the matter.

21. STATEMENT OF LIMITATIONS

Getex Pty Ltd and its staff members are professionally qualified and trained to achieve a suitable level of competency for the tasks undertaken.

Although all work is performed to a professional and diligent standard, the potential variance between the practical limitations of the scope of work undertaken, the cost of our services, all possible issues of concern, and any loss or damages which may be associated with our work are such that we cannot warrant that all issues of concern/asbestos materials have been identified. We therefore limit any potential liability associated with our work to the cost of our services.

All work conducted and/or reports/information produced by Getex Pty Ltd are prepared for a specific objective and within a specified scope of work as agreed between the Client and Getex Pty Ltd. As such this document is only for the use of the Client for the intended objective and may not be suitable for any other purpose. No parties other than the Client may use this document without first conferring with Getex Pty Ltd. Before passing this document onto a third party, the Client must inform the third party of any relevant information relating to this document. It is the responsibility of any party using this report to check to their satisfaction if this report is suitable for their intended use.

All information and/or report(s) prepared by Getex Pty Ltd should not be reproduced and/or presented/reviewed except in full.

Unless specifically mentioned, the inspection did not cover:

- Materials dumped, hidden, or otherwise placed in locations which one could not reasonably anticipate.
- Inaccessible/hidden locations, including wall cavities, under concrete slabs and lift wells.
- Materials other than standard building materials e.g. materials in special purpose facilities.
- Ground surface and underground areas.
- Mechanical, electrical or other items/materials not directly associated with the building structure.
- Materials other than asbestos as identification of a range of other possible hazardous substances can require specialised analysis/inspection techniques.

Where materials which may potentially contain asbestos are identified, these are reported to the best of the consultant's ability. Analysis/testing of materials is generally not included and there is no guarantee that all such materials have been identified.

The investigation conducted was limited in scope. As such, Getex Pty Ltd cannot guarantee that any or all asbestos materials/issues of concern, if present, have been identified as the practical restrictions of the program involved the inspection/review of a limited number of locations/materials which may or may not have identified/intercepted all asbestos materials if present. Furthermore, the distribution of dust, asbestos materials and/or other contaminants may vary with location and there can be no guarantee that a particular sample/location is typical of an extended area.



APPENDIX I

Sample Register & Asbestos Sample Analysis Report



SAMPLE REGISTER

Prepared by Getex

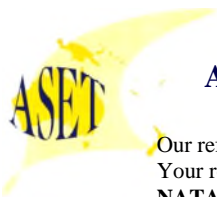
| Sample No. | Material Type | Analysis Result | Building Reference | Area Reference | Location | Sample Location |
|----------------|---------------------------------|--|--------------------|-------------------------|--|---|
| 11222.07/ AS04 | Soil | Chrysotile & Amosite Asbestos Detected | Northern Stable | Exterior | Western wing - Western all - Adjacent ground surfaces - Below drip line of roof | The sample of soil was collected from the upper soil surface in a central location. |
| 11222.07/ AS06 | Asbestos Cement Sheeting Debris | Chrysotile & Amosite Asbestos Detected | North-Western Shed | Exterior | Southern side of building - Ground surfaces - Fascia panel debris | The sample of asbestos cement sheeting debris was collected from debris adjacent to the western end of the southern wall. |
| 11222.07/ AS09 | Leaves & Detritus | Chrysotile & Amosite Asbestos Detected | Southern Stable | Exterior | North-west corner - Concrete floor below gutter drain point | The sample of leaves & detritus was collected from the leaves and detritus on the concrete slab. |
| 11222.07/ AS10 | Soil | Chrysotile & Amosite Asbestos Detected | Southern Stable | Exterior | South-west corner - Grassed surfaces below gutter drain point | The sample of soil was collected from sandy soil below on the drip line of the gutter drain point. |
| 11222.07/ AS11 | Fibre Cement Sheeting | No Asbestos Detected | House | Interior - Ground Floor | Eastern toilet and laundry - Walls | The sample of fibre cement sheeting was collected from the existing hole in the western wall of the laundry. |
| 11222.07/ AS12 | Fibre Cement Sheeting | No Asbestos Detected | House | Interior - Ground Floor | North-east laundry - Walls and ceiling | The sample of fibre cement sheeting was collected from a central location on the northern wall. |
| 11222.07/ AS13 | Asbestos Cement Sheeting | Chrysotile Asbestos Detected | House | Interior - First Floor | Bathroom - Floor - Sheeting under tiles (accessed via ground floor northern boiler cupboard) | The sample of asbestos cement sheeting was collected from adjacent to the pipe penetration. |
| 11222.07/ AS14 | Asbestos Cement Sheeting | Chrysotile Asbestos Detected | House | Exterior | Eaves and awnings - Soffit boards | The sample of asbestos cement sheeting was collected from the southern ground floor soffit on the western side. |
| 11222.07/ AS15 | Asbestos Cement Sheeting | Chrysotile Asbestos Detected | Garage | Exterior | Roof - Gable ends (x2) - Between outer roof tile and fascia - Cement sheeting lining | The sample of asbestos cement sheeting was collected from the southern end of the eastern gable. |



SAMPLE REGISTER

Prepared by Getex

| Sample No. | Material Type | Analysis Result | Building Reference | Area Reference | Location | Sample Location |
|-------------------|--------------------------|------------------------------|--------------------|----------------|---|--|
| 11222.07/ AS16 | Asbestos Cement Sheeting | Chrysotile Asbestos Detected | Garage | Exterior | Eaves - Soffit boards | The sample of asbestos cement sheeting was collected from the southern end of the eastern eave soffit. |
| 11222.07/ AS17 | Fibre Cement Sheeting | No Asbestos Detected | House | Exterior | Roof - Gable ends (x2) - Between outer roof tile and fascia - Cement sheeting lining | The sample of fibre cement sheeting was collected from the eastern end of the northern gable. |



AUSTRALIAN SAFER ENVIRONMENT & TECHNOLOGY PTY LTD

ABN 36 088 095 112

Our ref : ASET78814 / 81994 / 1 - 11

Your ref : 11222

NATA Accreditation No: 14484

16 January 2020

Getex Pty Ltd
2.02 Building, 2, 35, Waterloo Road
North Ryde NSW 2113

Attn: Mr Lee Hands



Dear Lee

Accredited for compliance with ISO/IEC 17025 - Testing.

Asbestos Identification

This report presents the results of eleven samples, forwarded by Getex Pty Ltd on 13 January 2020, for analysis for asbestos.

1.Introduction: Eleven samples forwarded were examined and analysed for the presence of asbestos.

2. Methods : The samples were examined under a Stereo Microscope and selected fibres were analysed by Polarized Light Microscopy in conjunction with Dispersion Staining method (**Australian Standard AS 4964 - 2004 and Safer Environment Method 1 as the supplementary work instruction**) (**Qualitative Analysis only**).

3. Results : **Sample No. 1. ASET78814 / 81994 / 1. 11222.07/AS04.**
Approx dimensions 6.0 cm x 5.0 cm x 1.0 cm
The sample consisted of a mixture of sandy soil, fibres^ (Approx. estimated Weight = 0.198g), stones, fragments of sandstone, paint flakes, char, plaster, wood chips, fibre cement*(Approx. estimated dimensions = 1.5cm x 1.0cm x 0.3cm) and plant matter.
Chrysotile^ asbestos and Amosite^ asbestos detected.
Trace Chrysotile asbestos detected.

Sample No. 2. ASET78814 / 81994 / 2. 11222.07/AS06.
Approx dimensions 3.0 cm x 1.5 cm x 0.45 cm
The sample consisted of a fragment of a fibre cement material.
Chrysotile asbestos and Amosite asbestos detected.

Sample No. 3. ASET78814 / 81994 / 3. 11222.07/AS09.
Approx dimensions 4.0 cm x 4.0 cm x 1.0 cm
The sample consisted of a mixture of sandy soil, fibres^ (Approximate estimated weight = 0.0216g) stones, fragments of sandstone, corroded metal, plaster, char, wood chips and plant matter.
Chrysotile^ asbestos and Amosite^ asbestos detected.

Sample No. 4. ASET78814 / 81994 / 4. 11222.07/AS10.
Approx dimensions 8.0 cm x 6.0 cm x 1.5 cm
The sample consisted of a mixture of sandy soil, fibres^ (Approximate estimated weight = 0.0009g) stones, fragments of sandstone, corroded metal, plaster, char and plant matter.
Chrysotile^ asbestos and Amosite^ asbestos detected.

SUITE 710 / 90 GEORGE STREET, HORNSBY NSW 2077 – P.O. BOX 1644 HORNSBY WESTFIELD NSW 1635
PHONE: (02) 99872183 FAX: (02) 99872151 EMAIL: info@ausset.com.au WEBSITE: www.Ausset.com.au

OCCUPATIONAL HEALTH & SAFETY STUDIES • INDOOR AIR QUALITY SURVEYS • HAZARDOUS MATERIAL SURVEYS • RADIATION SURVEYS • ASBESTOS SURVEYS
ASBESTOS DETECTION & IDENTIFICATION • REPAIR & CALIBRATION OF SCIENTIFIC EQUIPMENT • AIRBORNE FIBRE & SILICA MONITORING



Sample No. 5. ASET78814 / 81994 / 5. 11222.07/AS11.

Approx dimensions 1.0 cm x 1.0 cm x 0.3 cm

The sample consisted of a fragment of a fibro plaster cement material containing organic fibres.

No asbestos detected.

Sample No. 6. ASET78814 / 81994 / 6. 11222.07/AS12.

Approx dimensions 1.0 cm x 1.0 cm x 0.3 cm

The sample consisted of a fragment of a fibro plaster cement material containing organic fibres.

No asbestos detected.

Sample No. 7. ASET78814 / 81994 / 7. 11222.07/AS13.

Approx dimensions 1.5 cm x 1.0 cm x 0.3 cm

The sample consisted of a fragment of a fibre cement material.

Chrysotile asbestos detected.

Sample No. 8. ASET78814 / 81994 / 8. 11222.07/AS14.

Approx dimensions 1.0 cm x 0.6 cm x 0.3 cm

The sample consisted of a fragment of a fibro plaster material containing organic fibres.

Chrysotile asbestos detected.

Sample No. 9. ASET78814 / 81994 / 9. 11222.07/AS15.

Approx dimensions 1.0 cm x 1.0 cm x 0.45 cm

The sample consisted of a fragment of a fibre cement material.

Chrysotile asbestos detected.

Sample No. 10. ASET78814 / 81994 / 10. 11222.07/AS16.

Approx dimensions 2.0 cm x 1.0 cm x 0.45 cm

The sample consisted of a fragment of a fibre cement material.

Chrysotile asbestos detected.

Sample No. 11. ASET78814 / 81994 / 11. 11222.07/AS17.

Approx dimensions 1.0 cm x 1.0 cm x 0.35 cm

The sample consisted of a fragment of a plaster cement material.

No asbestos detected.

Reported by,

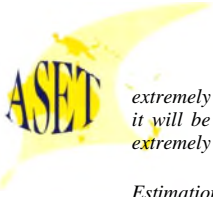
**Mahen De Silva. BSc, MSc, Grad Dip (Occ Hyg)
Occupational Hygienist / Approved Identifier.
Approved Signatory**



Accredited for compliance with ISO/IEC 17025 - Testing

The results contained in this report relate only to the sample/s submitted for testing. Australian Safer Environment & Technology accepts no responsibility for whether or not the submitted sample/s is/are representative. Results indicating "No asbestos detected" indicates a reporting limit specified in AS4964 -2004 which is 0.1g/ Kg (0.01%). Any amounts detected at assumed lower level than that would be reported, however those assumed lower levels may be treated as "No asbestos detected" as specified and recommended by AS4964-2004. Trace / respirable level asbestos will be reported only when detected and trace analysis have been performed on each sample as required by AS4964-2004. When loose asbestos fibres/fibre bundles are detected and reported that means they are larger handpicked fibres/fibre bundles, and they do not represent respirable fibres. Dust/soil samples are always subjected to trace analysis except where the amounts involved are

Page 2 of 3



extremely minute and trace analysis is not possible to be carried out. When trace analysis is not performed on dust samples it will be indicated in the report that trace analysis has not been carried out due to the volume of the sample being extremely minute.

Estimation of asbestos weights involves the use of following assumptions;

Volume of each kind of Asbestos present in broken edges have been visually estimated and it has been assumed that volumes remain similar throughout the binding matrix and those volumes are only approximate and not exact. Material densities have been assumed to be similar to commonly found similar materials and may not be exact.

The approx weights given above can be used only as a guide. They do not represent absolute weights of each kind of asbestos, as it is impossible to extract all loose fibres from soil and other asbestos containing building material samples using this method. However above figures may be used as closest approximations to the exact values in each case. Estimation and/ or reporting of asbestos fibre weights in asbestos containing materials and soil is out of the Scope of the NATA Accreditation. NATA Accreditation only covers the qualitative part of the results reported. This weight disclaimer also covers weight / weight percentages given.

^ denotes loose fibres of relevant asbestos types detected in soil/dust.

**** denotes asbestos detected in ACM in bonded form.***

denotes friable asbestos as soft fibro plaster and/or highly weathered ACM that will easily crumble.



From: Getex Pty Ltd
Address: 2.02, Building 2, Waterloo Business Park
35 Waterloo Road
Macquarie Park NSW 2113
Phone: (02) 9889 2488
Facsimile: (02) 9889 2499
Email: help@getex.com.au
Attention: Lee Hands

CHAIN OF CUSTODY FORM

To: Australian Safer Environment &
Technology Pty Ltd
Address: Unit 10 Level 7, 90 George Street
Hornsby NSW 2077
Phone: (02) 99872183
Facsimile: (02) 99872151

Date: 13/01/2020
Order No.: 7100
Project No.: **11222**
TAT Required: **3 Day**

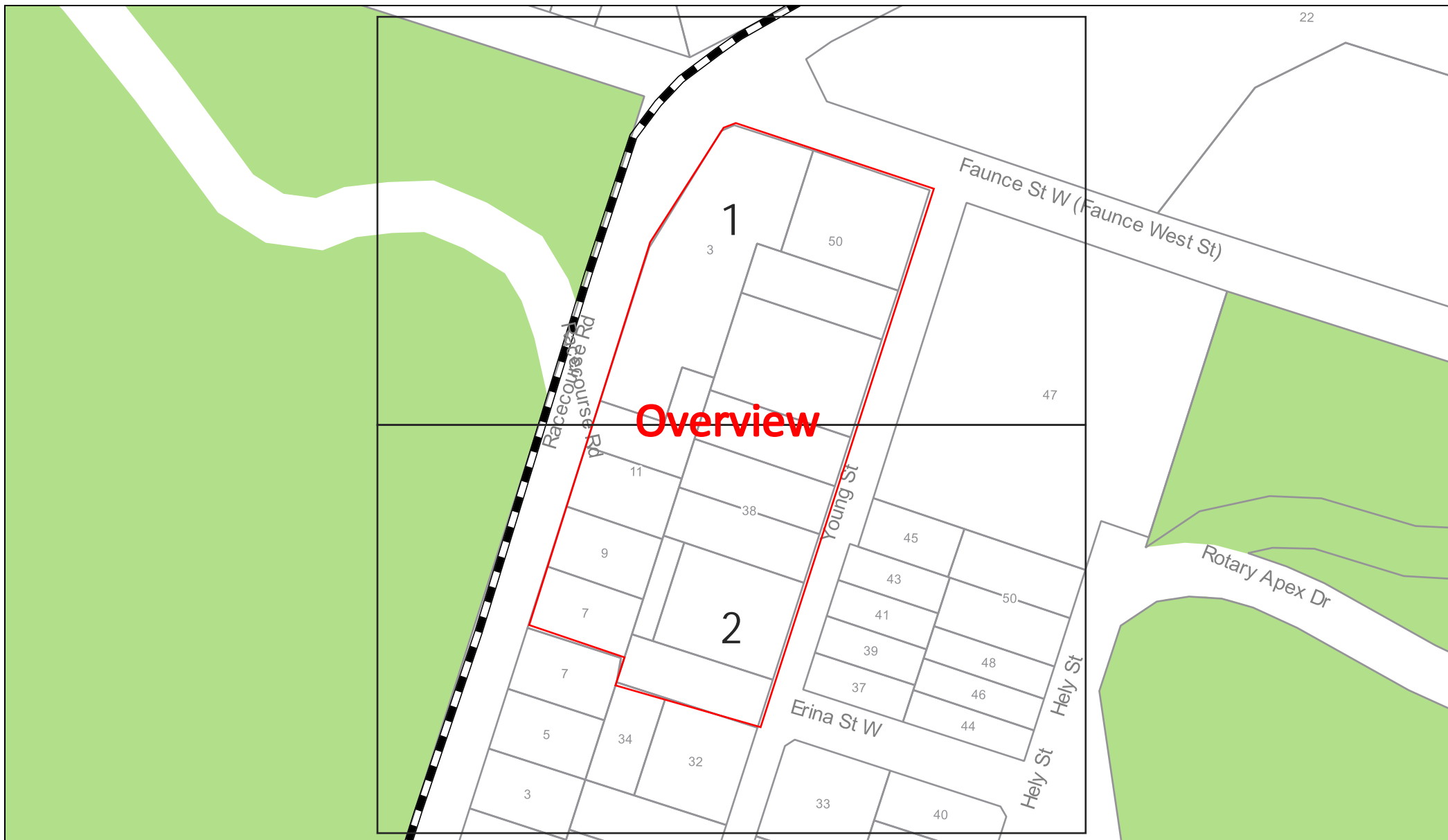
ASET78814/81994/1-11

☐ Samples received at ambient temperature

☐ Samples received chilled

Received by (signature) Arani Date: 13/01/20 1.20pm

| ASET Reference Number | GETEX Sample Number | Container Plastic Tube – PT Bag – B Petri Dish – PD Plastic Bottle – PB Glass Jar – GJ Glass Bottle – GB Glass Vial – GV | Analysis Required | | | | | | | | | | | | | | | | |
|-----------------------------|------------------------|---|--|------------------|-------------------------|----------------------------|-------------------|--|--|--|--|--|--|--|--|--|--|--|--|
| | | | Asbestos in Soil (Presence/Absen ce) | Asbestos in Dust | Asbestos in Material | Asbestos Fibre Counting | Asbestos in Vinyl | | | | | | | | | | | | |
| 1 | 11222.07/AS04 | B | | | X | | | | | | | | | | | | | | |
| 2 | 11222.07/AS06 | B | | | X | | | | | | | | | | | | | | |
| 3 | 11222.07/AS09 | B | | | X | | | | | | | | | | | | | | |
| 4 | 11222.07/AS10 | B | | | X | | | | | | | | | | | | | | |
| 5 | 11222.07/AS11 | B | | | X | | | | | | | | | | | | | | |
| 6 | 11222.07/AS12 | B | | | X | | | | | | | | | | | | | | |
| 7 | 11222.07/AS13 | B | | | X | | | | | | | | | | | | | | |
| 8 | 11222.07/AS14 | B | | | X | | | | | | | | | | | | | | |
| 9 | 11222.07/AS15 | B | | | X | | | | | | | | | | | | | | |
| 10 | 11222.07/AS16 | B | | | X | | | | | | | | | | | | | | |
| 11 | 11222.07/AS17 | B | | | X | | | | | | | | | | | | | | |
| Total | | | | | 11 | | | | | | | | | | | | | | |



Sequence Number: 219893005

Date: 11/01/2023

DISCLAIMER: THIS DRAWING SHOULD NOT BE SCALED TO LOCATE CABLES. NO WARRANTY IS GIVEN THAT THE INFORMATION IS ACCURATE OR COMPLETE. IF YOU REQUIRE INFORMATION REGARDING LOCATING THE CABLE PLEASE CALL NEXTGEN. THIS DOCUMENT HAS BEEN PREPARED SOLELY FOR DIAL BEFORE YOU DIG USE. THIS PLAN CONTAINS COMMERCIAL SENSITIVE INFORMATION AND IS TO BE TREATED ACCORDINGLY. NO SUCH INFORMATION IS TO BE PASSED ONTO OTHER PARTIES WITHOUT WRITTEN CONSENT FROM NEXTGEN PTY LTD.



LEGEND

Digsite



Area

Assets



Cable
















3rd Party Duct



Marker Post



| | | | | | | | | | | | |
|--|--|---|--|----------------|---------------|--|---|--|--|--|---|
| Sequence Number: 219893005 | | Date: 11/01/2023 | | | | | | | | | |
| <p>DISCLAIMER: THIS DRAWING SHOULD NOT BE SCALED TO LOCATE CABLES. NO WARRANTY IS GIVEN THAT THE INFORMATION IS ACCURATE OR COMPLETE. IF YOU REQUIRE INFORMATION REGARDING LOCATING THE CABLE PLEASE CALL NEXTGEN. THIS DOCUMENT HAS BEEN PREPARED SOLELY FOR DIAL BEFORE YOU DIG USE. THIS PLAN CONTAINS COMMERCIALLY SENSITIVE INFORMATION AND IS TO BE TREATED ACCORDINGLY. NO SUCH INFORMATION IS TO BE PASSED ONTO OTHER PARTIES WITHOUT WRITTEN CONSENT FROM NEXTGEN PTY LTD.</p> | | <div>  </div> | | | | | | | | | |
| | | <p>LEGEND</p> <table border="0"> <tr> <td>Digsite</td> <td>Assets</td> </tr> <tr> <td> Area</td> <td> Cable</td> </tr> <tr> <td></td> <td> 3rd Party Duct</td> </tr> <tr> <td></td> <td> Marker Post</td> </tr> </table> | | Digsite | Assets |  Area |  Cable | |  3rd Party Duct | |  Marker Post |
| Digsite | Assets | | | | | | | | | | |
|  Area |  Cable | | | | | | | | | | |
| |  3rd Party Duct | | | | | | | | | | |
| |  Marker Post | | | | | | | | | | |



Sequence Number: 219893005

Date: 11/01/2023

DISCLAIMER: THIS DRAWING SHOULD NOT BE SCALED TO LOCATE CABLES. NO WARRANTY IS GIVEN THAT THE INFORMATION IS ACCURATE OR COMPLETE. IF YOU REQUIRE INFORMATION REGARDING LOCATING THE CABLE PLEASE CALL NEXTGEN. THIS DOCUMENT HAS BEEN PREPARED SOLELY FOR DIAL BEFORE YOU DIG USE. THIS PLAN CONTAINS COMMERCIAL SENSITIVE INFORMATION AND IS TO BE TREATED ACCORDINGLY. NO SUCH INFORMATION IS TO BE PASSED ONTO OTHER PARTIES WITHOUT WRITTEN CONSENT FROM NEXTGEN PTY LTD.



LEGEND

Digsite



Area

Assets



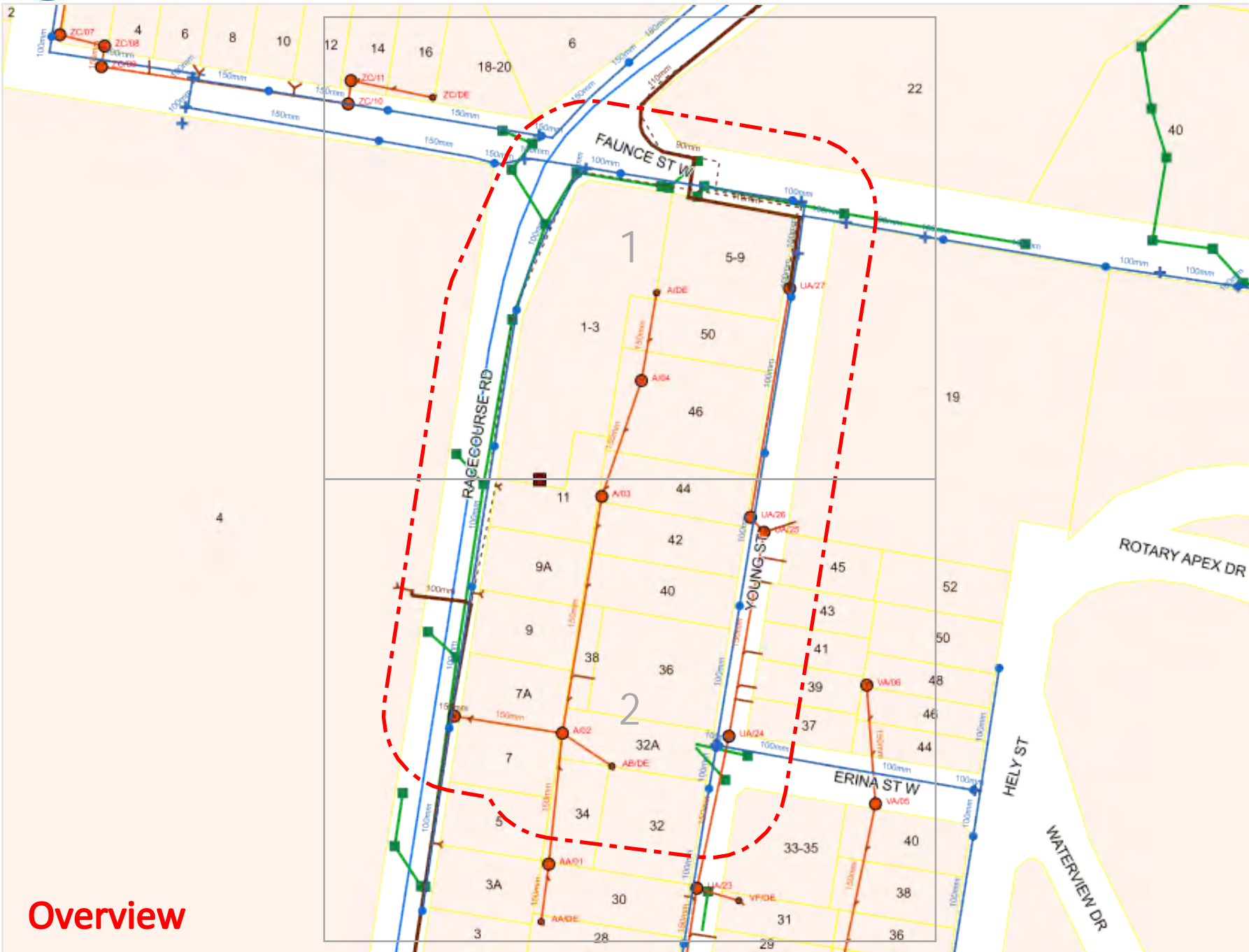
Cable



3rd Party Duct



Marker Post



Legend

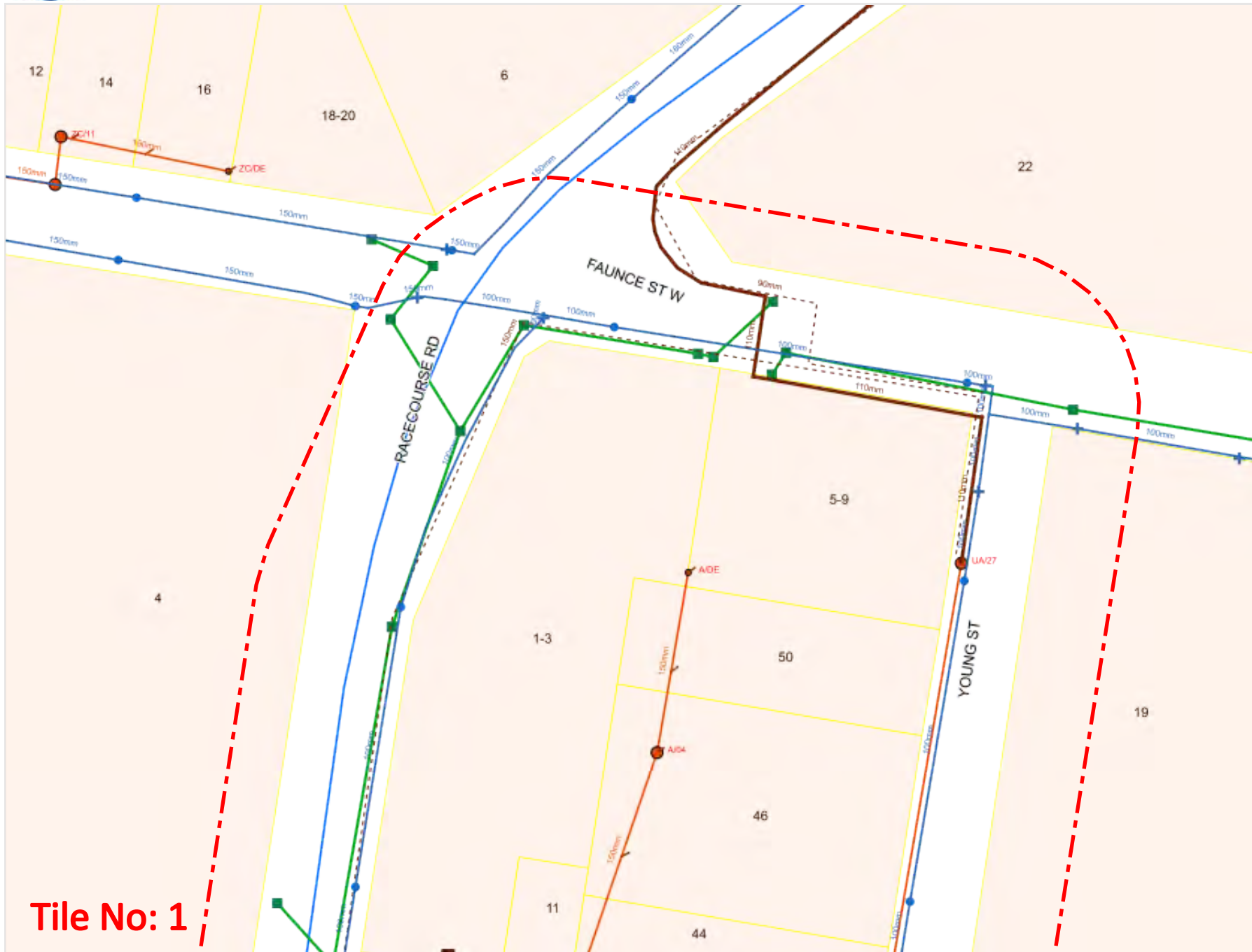
- Watermain
- Watermain (Asbestos)
- Watermain - Expired
- Watermain - Expired (Asbestos)
- + Water Valve
- Water Hydrant
- Sewer Service Connection
- Sewer Pressure Main
- Sewer Pressure Main- Expired
- Sewer Network Structures
- Sewer Maintenance Hole
- Sewer Dead End
- Sewer Lamphole
- Sewer Gravity Main
- Sewer Gravity Main (Asbestos)
- Sewer Gravity Main - Expired
- Drainage Pit
- Drainage Pipe
- Drainage Pipe - Expired
- Drainage Culverts
- Drainage Culverts - Expired



Scale: 1:2050
Expires: 08 Feb 2023

DISCLAIMER: While reasonable measures have been taken to ensure the accuracy of the information contained in this plan response, neither Central Coast Council nor PelicanCorp shall have any liability whatsoever in relation to any loss, damage, cost or expense arising from the use of this plan response or the information contained in it or the completeness or accuracy of such information. Use of such information is subject to and constitutes acceptance of these terms.

Overview



Tile No: 1

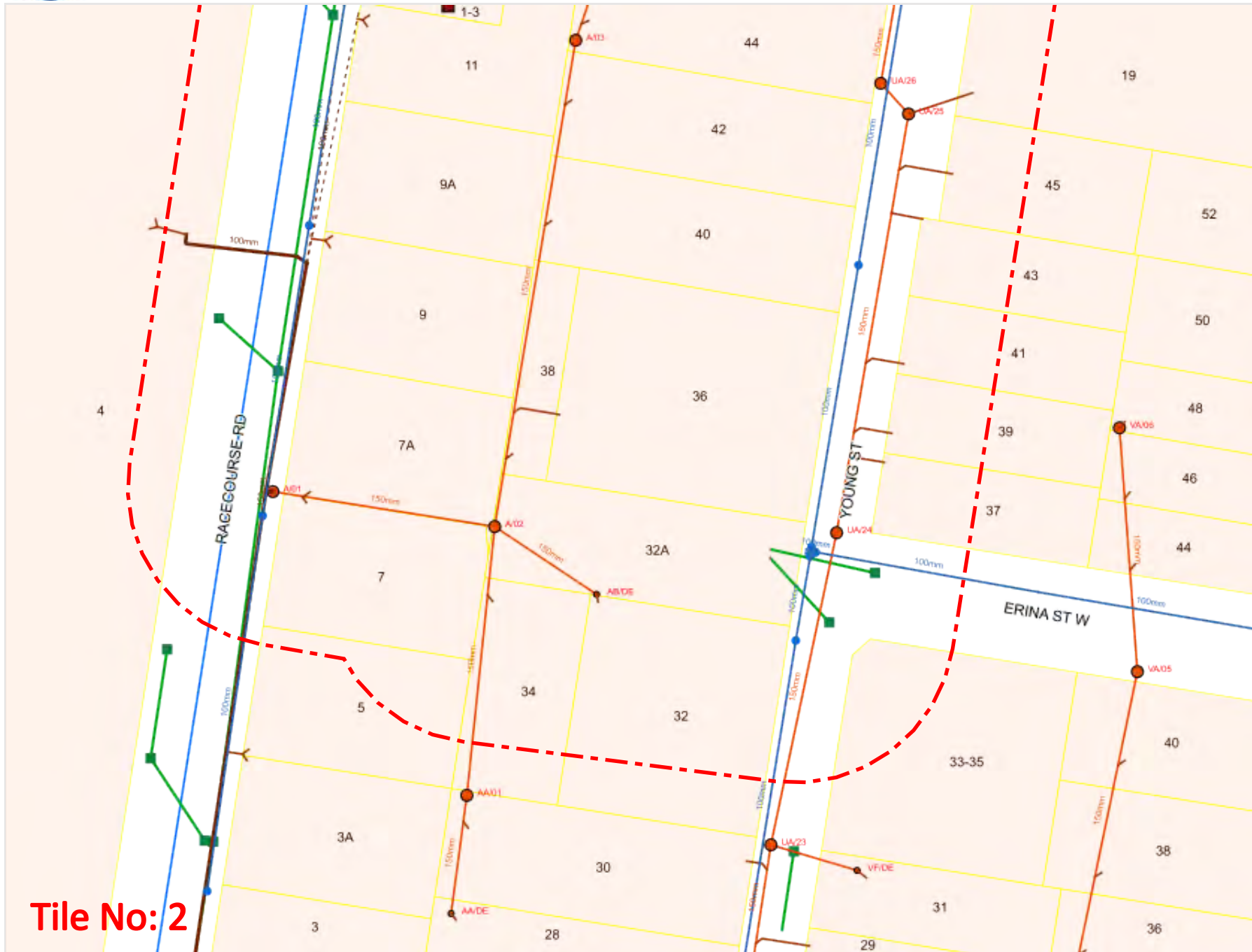
Legend

- Watermain
- Watermain (Asbestos)
- - - Watermain - Expired
- - - Watermain - Expired (Asbestos)
- + Water Valve
- Water Hydrant
- Sewer Service Connection
- Sewer Pressure Main
- - - Sewer Pressure Main- Expired
- Sewer Network Structures
- Sewer Maintenance Hole
- Sewer Dead End
- Sewer Lamphole
- Sewer Gravity Main
- Sewer Gravity Main (Asbestos)
- - - Sewer Gravity Main - Expired
- Drainage Pit
- Drainage Pipe
- - - Drainage Pipe - Expired
- Drainage Culverts
- - - Drainage Culverts - Expired



Scale: 1:1000
Expires: 08 Feb 2023

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Legend

- Watermain
- Watermain (Asbestos)
- - - Watermain - Expired
- - - Watermain - Expired (Asbestos)
- + Water Valve
- Watermain - Recycled
- Water Hydrant
- Sewer Service Connection
- Sewer Pressure Main
- - - Sewer Pressure Main- Expired
- Sewer Network Structures
- Sewer Maintenance Hole
- Sewer Dead End
- Sewer Lamphole
- Sewer Gravity Main
- Sewer Gravity Main (Asbestos)
- - - Sewer Gravity Main - Expired
- Drainage Pit
- Drainage Pipe
- - - Drainage Pipe - Expired
- Drainage Culverts
- - - Drainage Culverts - Expired



Scale: 1:1000
Expires: 08 Feb 2023

DISCLAIMER: While reasonable measures have been taken to ensure the accuracy of the information contained in this plan response, neither Central Coast Council nor PelicanCorp shall have any liability whatsoever in relation to any loss, damage, cost or expense arising from the use of this plan response or the information contained in it or the completeness or accuracy of such information. Use of such information is subject to and constitutes acceptance of these terms.

Tile No: 2

If further information is required, please contact:

Ausgrid BYDA

Phone: (02) 4951 0899

Fax: (02) 4951 0729

Emergency Phone Number 131388



Underground Cable Location Search Advice

**-- Ausgrid Assets Not Recorded in the Vicinity --
(Caution Still Required)**

| | | | |
|-----|--|-------------|--------------|
| To: | Katelyn Elliott Stantec Australia 16 Burelli Street Wollongong NSW 2500 | | |
| | | Phone No: | +61476144110 |
| | | Issue Date: | 11/01/2023 |

In response to your enquiry, Sequence No219893006 the records of Ausgrid **do not** disclose that there are Ausgrid underground cables in the defined search location.

This search is based on the geographical position of the dig site as denoted in the Before You Dig Australia caller confirmation sheet and an overview is provided:

| | |
|----------|--|
| Address: | 38 Young Street West Gosford NSW 2250 |
| Job #: | 33395501 |



****Important****

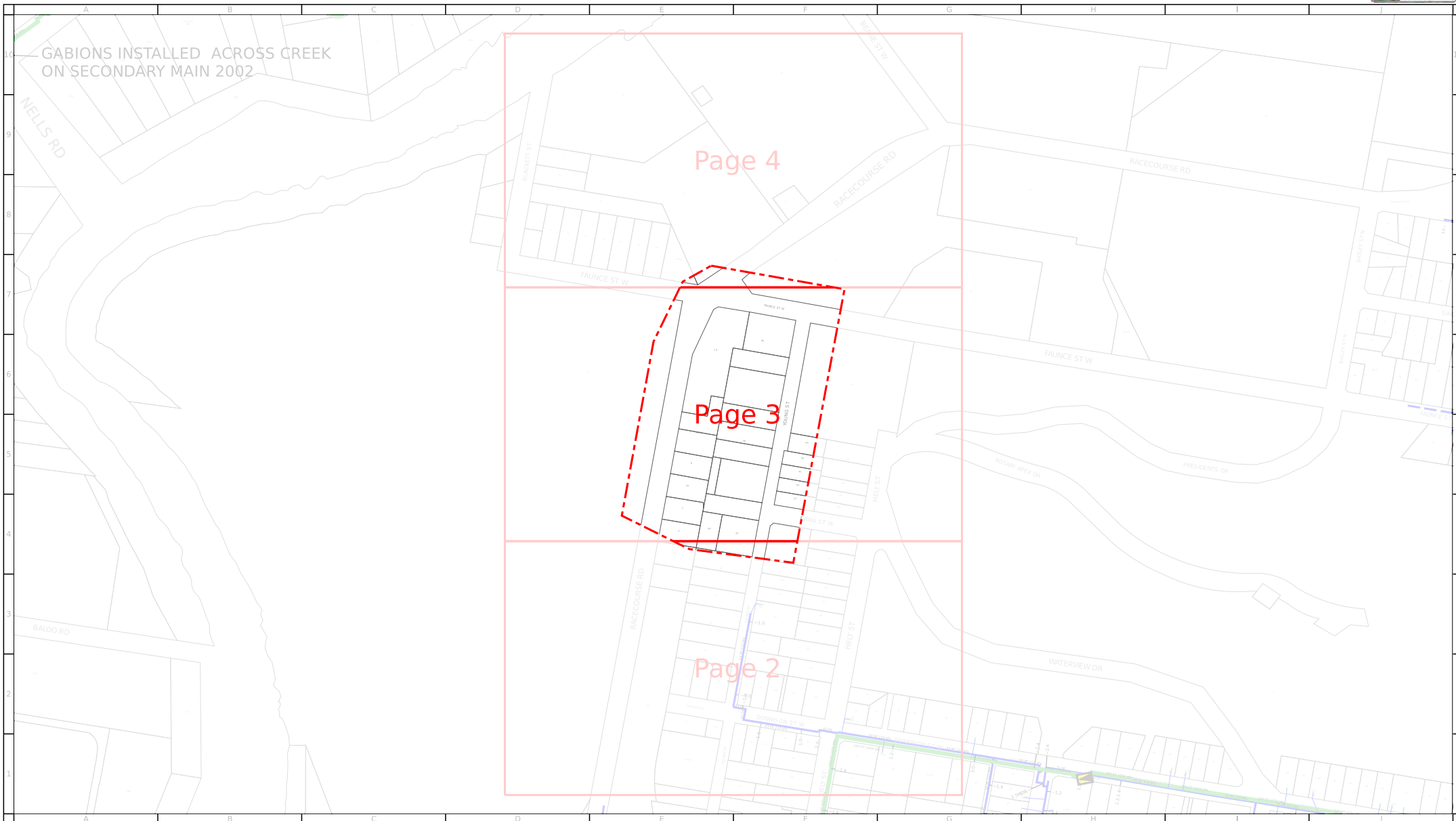
All information provided to you is ONLY VALID FOR **30 DAYS** from the date of issue

YOU MUST READ AND UNDERSTAND THE:

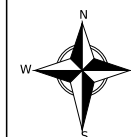
IMPORTANT INFORMATION

AND

**CHECKLIST FOR WORK NEAR OR AROUND UNDERGROUND CABLES
THAT ARE INCLUDED AS PART OF THIS ADVICE**



For legend details, please refer to the Coversheet attachment provided as part of this DBYD response.



Scale: 1:6301

Issue Date: 10/01/2023
DBYD Seq No: 219893008
DBYD Job No: 33395501
Overview Page:

WARNING: This is a representation of Jemena Gas Networks underground assets only and may not indicate all assets in the area. It must not be used for the purpose of exact asset location in order to undertake any type of excavation. Please read all conditions and information on the attached information sheet. This extract is subject to those conditions. The information contained on this plan is only valid for 28 days from the date of issue.



For legend details, please refer to the Coversheet attachment provided as part of this DBYD response.



Scale:1:2000

Issue Date: 10/01/2023

DBYD Seq No: 219893008

DBYD Job No: 33395501

0m 10m 20m 30m 40m 50m 60m 70m80m

WARNING: This is a representation of Jemena Gas Networks underground assets only and may not indicate all assets in the area. It must not be used for the purpose of exact asset location in order to undertake any type of excavation. This plan is diagrammatic only, and distances scaled from this plan may not be accurate. Please read all conditions and information on the attached information sheet. This extract is subject to those conditions. The information contained on this plan is only valid for 28 days from the date of issue.



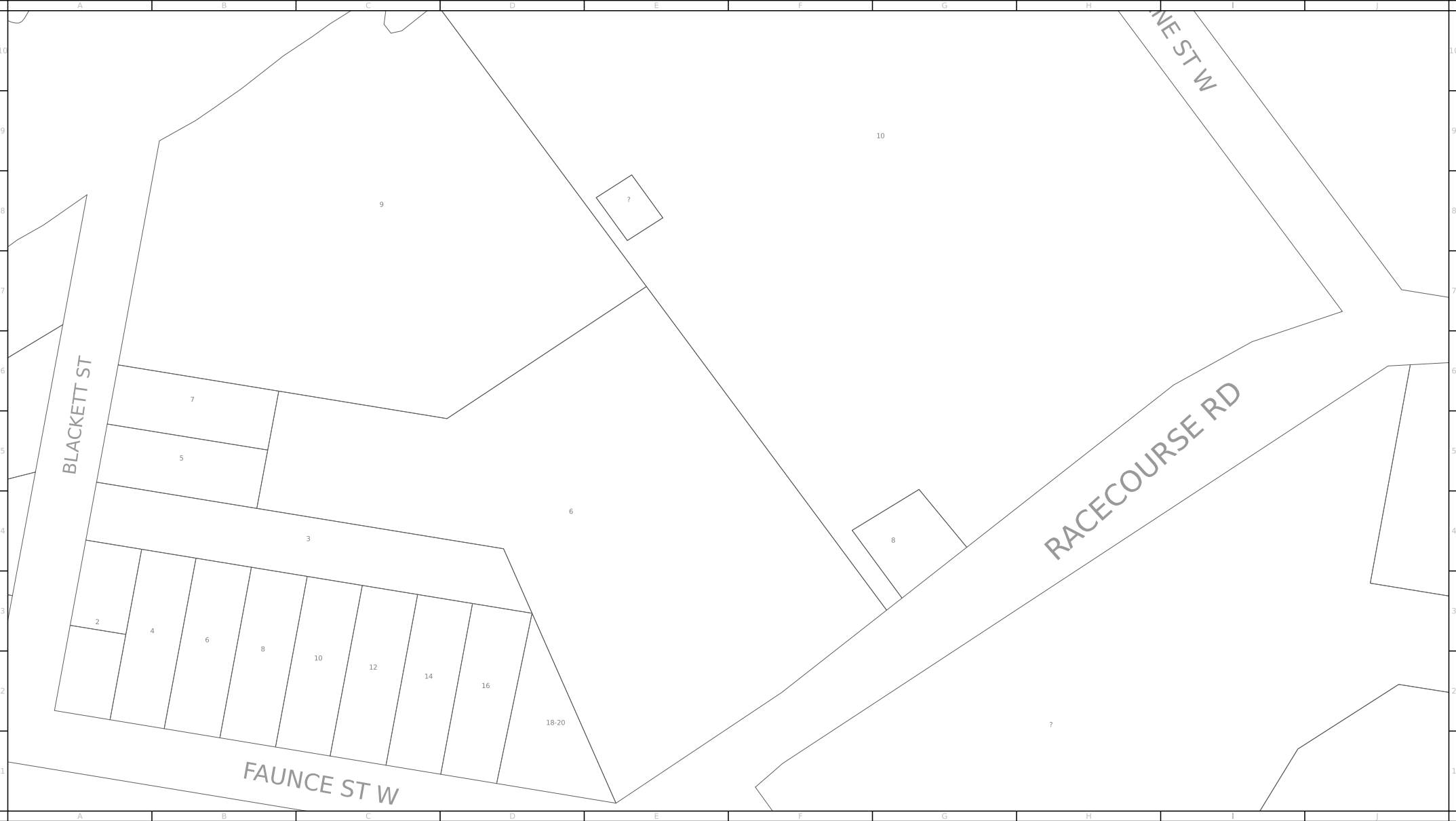
For legend details, please refer to the Coversheet attachment provided as part of this DBYD response.



Scale:1:2000

Issue Date: 10/01/2023
DBYD Seq No: 219893008
DBYD Job No: 33395501





For legend details, please refer to the Coversheet attachment provided as part of this DBYD response.



Scale:1:2000

Issue Date: 10/01/2023


DBYD Seq No: 219893008

DBYD Job No: 33395501

0m 10m 20m 30m 40m 50m 60m 70m80m

WARNING: This is a representation of Jemena Gas Networks underground assets only and may not indicate all assets in the area. It must not be used for the purpose of exact asset location in order to undertake any type of excavation. This plan is diagrammatic only, and distances scaled from this plan may not be accurate. Please read all conditions and information on the attached information sheet. This extract is subject to those conditions. The information contained on this plan is only valid for 28 days from the date of issue.

To: Katelyn Elliott
Phone: Not Supplied
Fax: Not Supplied
Email: katelyn.elliott@stantec.com

| | | |
|----------------------------|---|--|
| Dial before you dig Job #: | 33395501 |  DIAL BEFORE YOU DIG <small>www.1100.com.au</small> |
| Sequence # | 219893004 | |
| Issue Date: | 10/01/2023 | |
| Location: | 38 Young Street , West Gosford , NSW , 2250 | |

Indicative Plans

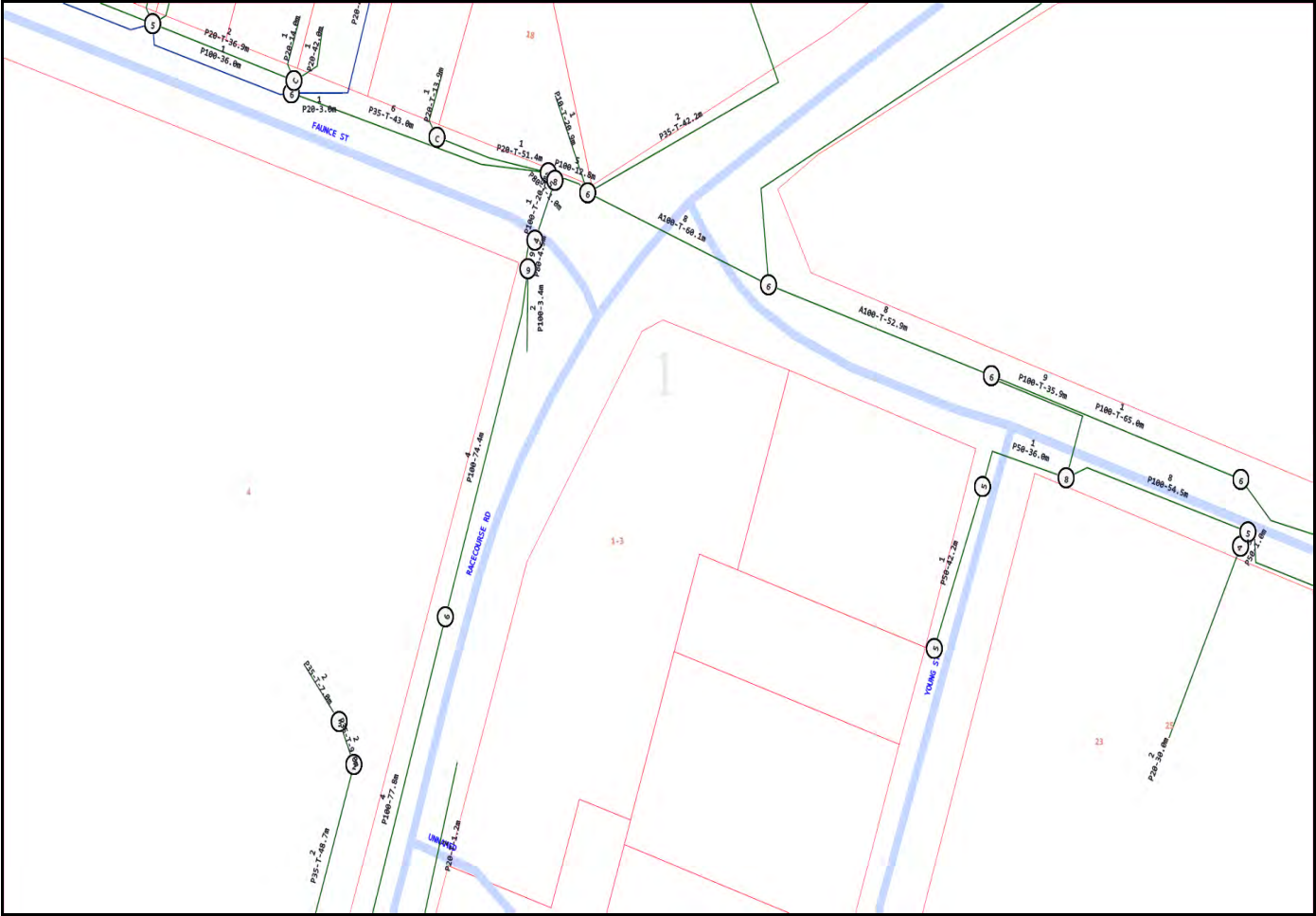




LEGEND

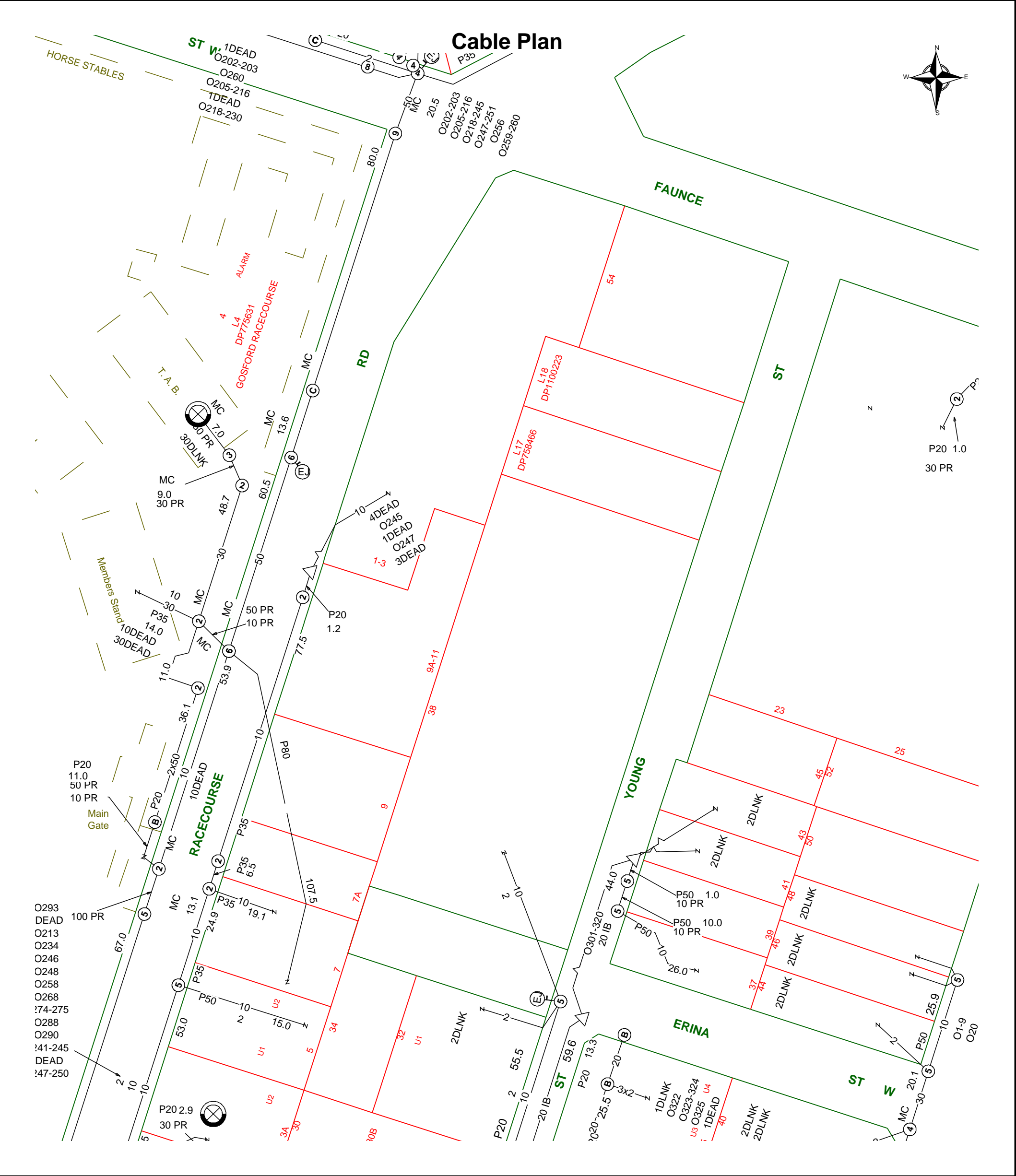



| | |
|-------|--|
| | Parcel and the location |
| | Pit with size "5" |
| | Power Pit with size "2E". Valid PIT Size: e.g. 2E, 5E, 6E, 8E, 9E, E, null. |
| | Manhole |
| | Pillar |
| | Cable count of trench is 2. One "Other size" PVC conduit (PO) owned by Telstra (-T-), between pits of sizes, "5" and "9" are 25.0m apart. One 40mm PVC conduit (P40) owned by NBN, between pits of sizes, "5" and "9" are 20.0m apart. |
| | 2 Direct buried cables between pits of sizes, "5" and "9" are 10.0m apart. |
| | Trench containing any INSERVICE/CONSTRUCTED (Copper/RF/Fibre) cables. |
| | Trench containing only DESIGNED/PLANNED (Copper/RF/Fibre/Power) cables. |
| | Trench containing any INSERVICE/CONSTRUCTED (Power) cables. |
| | Road and the street name "Broadway ST" |
| Scale | 0 20 40 60 Meters 1:2000 1 cm equals 20 m |





You must immediately report any damage to the **nbn™** network that you are/become aware of. Notification may be by telephone - 1800 626 329.



| | | |
|--|---|--|
|  | <p>Report Damage: https://service.telstra.com.au/customer/general/forms/report-damage-to-telstra-equipment Ph - 13 22 03 Email - Telstra.Plans@team.telstra.com Planned Services - ph 1800 653 935 (AEST bus hrs only) General Enquiries</p> | <p>Sequence Number: 219893009</p> <p>CAUTION: Fibre optic and/ or major network present in plot area. Please read the Duty of Care and contact Telstra Plan Services should you require any assistance.</p> |
| <p>TELSTRA LIMITED A.C.N. 086 174 781</p> <p>Generated On 11/01/2023 08:58:03</p> | | |

The above plan must be viewed in conjunction with the Mains Cable Plan on the following page

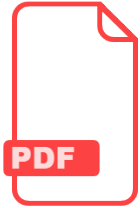
WARNING
Telstra plans and location information conform to Quality Level "D" of the Australian Standard AS 5488-Classification of Subsurface Utility Information. As such, Telstra supplied location information is indicative only. Spatial accuracy is not applicable to Quality Level D. Refer to AS 5488 for further details. The exact position of Telstra assets can only be validated by physically exposing it. Telstra does not warrant or hold out that its plans are accurate and accepts no responsibility for any inaccuracy. Further on site investigation is required to validate the exact location of Telstra plant prior to commencing construction work. A Certified Locating Organisation is an essential part of the process to validate the exact location of Telstra assets and to ensure the asset is protected during construction works.

See the Steps- Telstra Duty of Care that was provided in the email response.



OPENING ELECTRONIC MAP ATTACHMENTS -

Telstra Cable Plans are generated automatically in either PDF or DWF file types dependant on the site address and the size of area selected. You may need to download and install free viewing software from the internet e.g.



PDF Map Files (max size A3)

Adobe Acrobat Reader (<http://get.adobe.com/reader/>),



DWF Map Files (all sizes over A3)

Autodesk A360 (<https://360.autodesk.com/viewer>) or

Autodesk Design Review (<http://usa.autodesk.com/design-review/>) for DWF files.
(Windows)



Telstra DBYD map related enquiries

email - Telstra.Plans@team.telstra.com

1800 653 935 (AEST Business Hours only)



REPORT ANY DAMAGE TO THE TELSTRA NETWORK IMMEDIATELY

Report online - <https://service.telstra.com.au/customer/general/forms/report-damage-to-telstra-equipment>

Ph: 13 22 03

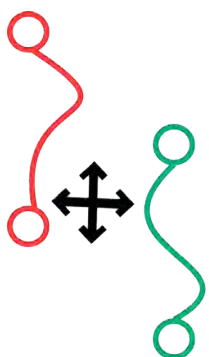
If you receive a message asking for a phone or account number say:

"I don't have one" then say "Report Damage" then press 1 to speak to an operator.



Telstra New Connections / Disconnections

13 22 00



Telstra asset relocation enquiries: 1800 810 443 (AEST business hours only).

NetworkIntegrity@team.telstra.com

<https://www.telstra.com.au/consumer-advice/digging-construction>

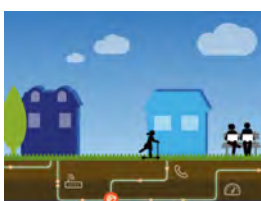
Certified Locating Organisation (CLO)

<https://dbydlocator.com/certified-locating-organisation/>



DBYDCertification

Please refer to attached Accredited Plant Locator.pdf



Telstra Smart Communities

Information for new developments (developers, builders, homeowners)

<https://www.telstra.com.au/smart-community>

LEGEND

IT'S HOW
WE CONNECT



For more info contact a [Certified Locating Organisation](#) or Telstra Plan Services 1800 653 935

| | | | |
|------|--|---|---|
| | Exchange (Major Cable Present) | | Cable Jointing Pit (number / Letter indicating Pit Type) |
| | Footway Access Chamber (can vary from 1-lid to 12-lid) | | Elevated Joint (above ground joint on buried cable) |
| | Pillar / Cabinet (above ground / free standing) | | Telstra Plant in shared Utility trench |
| | Above ground complex equipment housing (eg RIM) Please Note: This equipment is powered by 240V Electricity | | Aerial Cable |
| OC | Other Carrier Telecommunications Cable/Asset | | Aerial Cable (attached to joint Use Pole eg. Power) |
| Dist | Distribution cables in Main Cable ducts | | Direct Buried Cable |
| MC | Main Cable ducts on a Distribution plan Blocked or damaged duct. | | Marker Post Installed |
| | Roadside / Front Boundary 2 pair lead-in to property from pit in street 1 | | Buried Transponder |
| | pair working (pair ID 059) | | Marker Post, Transponder |
| | 1 pair dead (i.e. spare, not connected) | | Optical Fibre cable direct buried |
| | Side / Rear Property Boundary Property Number | <div>Some examples of conduit type and size: A - Asbestos cement, P - PVC / Plastic, C - Concrete, GI - Galanised iron, E - Earthenware Conduit sizes <i>nominally</i> range from 20mm to 100mm P50 50mm PVC conduit P100 100mm PVC conduit A100 100mm asbestos cement conduit</div> | |
| | Single to multiple round conduit Configurations 1.2.4.9 respectively (attached text denotes conduit type and size) | | |
| | Multiple square conduit Configurations 2, 4, 6 respectively (attached text denotes conduit type and size) | | |
| | | | |

Some Examples of how to read Telstra Plans

One 50mm PVC conduit (P50) containing a 50-pair and a 10-pair cable between two 6-pits. approximately 20.0m apart, with a direct buried 30-pair cable along the same route

Two separate conduit runs between two footway access chambers (manholes) approximately 245m apart A nest of four 100mm PVC conduits (P100) containing assorted cables in three ducts (one being empty) and one empty 100mm concrete duct (C100) along

WARNING: Telstra plans and location information conform to Quality Level 'D' of the Australian Standard AS 5488 - Classification of Subsurface Utility Information. As such, Telstra supplied location information is indicative only. Spatial accuracy is not applicable to Quality Level D. Refer to AS 5488 for further details. Telstra does not warrant or hold out that its plans are accurate and accepts no responsibility for any inaccuracy shown on the plans. FURTHER ON SITE INVESTIGATION IS REQUIRED TO VALIDATE THE EXACT LOCATION OF TELSTRA PLANT PRIOR TO COMMENCING CONSTRUCTION WORK. A plant location service is an essential part of the process to validate the exact location of Telstra assets and to ensure the assets are protected during construction works. The exact position of Telstra assets can only be validated by physically exposing them. Telstra will seek compensation for damages caused to its property and losses caused to Telstra and its customers.



Dye & Durham Property Pty Ltd - Melbourne
PO Box 447
SOUTHBANK VIC 3006

SECTION 10.7(2) AND (5) PLANNING CERTIFICATE

Under Section 10.7 of the Environmental Planning and Assessment Act, 1979

| | |
|------------------------------|---|
| Fee paid: | \$156.00 |
| Receipt No: | 17832447 |
| Receipt Date: | 8 November 2022 |
| Property Address: | 5-9 Faunce St W, WEST GOSFORD NSW 2250 |
| Property Description: | Lot 20 Sec 82 DP 758466 |
| Property Owner | Bhaajayu Pty Ltd and Verugu Pty Ltd and South Pty Ltd and Galbrock Pty Ltd |
| Certificate No: | 55186 |
| Reference No: | 76943699:115269885:226508 |
| Date of issue: | 08-Nov-2022 |

The information contained within this certificate relates to the land.



Wyong Office: 2 Hely St / PO Box 20 Wyong NSW 2259

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**ADVICE PROVIDED PURSUANT TO S.10.7(2) OF THE ENVIRONMENTAL
PLANNING AND ASSESSMENT ACT 1979**

| | |
|----------|---|
| 1 | NAMES OF RELEVANT PLANNING INSTRUMENTS AND DEVELOPMENT CONTROL PLANS |
|----------|---|

**(1) Environmental Planning Instruments and Development Control Plans which
apply to the land**

State Environmental Planning Policy (Precincts Regional) 2021 Pt 5.8 Gosford City Centre

Gosford City Centre Development Control Plan 2018

**ZONE B6 ENTERPRISE CORRIDOR UNDER STATE ENVIRONMENTAL PLANNING
POLICY (GOSFORD CITY CENTRE) 2018**

State Environment Planning Policy (Exempt and Complying Development Codes) 2008
State Environment Planning Policy (Building Sustainability Index: BASIX) 2004
State Environment Planning Policy No. 65 – Design Quality of Residential Apartment
Development

State Environment Planning Policy (Primary Production) 2021
State Environment Planning Policy (Transport and Infrastructure) 2021
State Environment Planning Policy (Biodiversity and Conservation) 2021
State Environment Planning Policy (Resilience and Hazards) 2021
State Environment Planning Policy (Industry and Employment) 2021
State Environment Planning Policy (Resources and Energy) 2021
State Environment Planning Policy (Planning Systems) 2021
State Environmental Planning Policy (Housing) 2021

**(2) Proposed Environmental Planning Instruments and Draft Development Control
Plans which will apply to the land and is or has been the subject of community
consultation or public exhibition**

Proposed State Environmental Planning Policy (Transport and Infrastructure) 2021
Proposed State Environment Planning Policy (Building Sustainability Index: BASIX) 2004
Standard Instrument (Local Environmental Plans) Order 2006

| | |
|----------|--|
| 2 | ZONING AND LAND USE UNDER RELEVANT PLANNING INSTRUMENTS |
|----------|--|

(a) Identity of the Zone

Lot 20 Sec 82 DP 758466

B6 ENTERPRISE CORRIDOR SEPP

(b) For each of the environmental planning instruments referred to in clause 1, please refer to the attached land use table to determine (i), (ii) and (iii) listed below:

- (i) development that may be carried out within the zone without the need for development consent,
- (ii) development which may not be carried out within the zone except with development consent and
- (iii) development which is prohibited within the zone.

(c) Whether additional permitted uses apply to the land

Additional Permitted Uses **do not** apply to this land.

(d) Development Standards applying to the land that fix minimum land dimensions for the erection of a dwelling-house

There are no development standards applying to the land that fix minimum land dimensions for the erection of a dwelling-house on the land. However there are minimum lot sizes applying to the subdivision of land, and in some zones the entitlement to erect a dwelling-house, or carry out other types of residential development, is linked to that minimum lot size.

(e) Land includes or comprises critical habitat

No

(f) Land is in a conservation area

No

(g) Item of environmental heritage is situated on the land

None

| | |
|----------|---------------------------|
| 3 | CONTRIBUTION PLANS |
|----------|---------------------------|

Gosford City Council Section 94A Development Contributions Plan - Gosford City Centre

| | |
|----------|------------------------------|
| 4 | COMPLYING DEVELOPMENT |
|----------|------------------------------|

Whether or not the land is land on which complying development can be carried out under each of the codes for complying development because of the provisions of clause 1.17A(1)(c) to (e), (2), (3) and (4), 1.18(1)(c3) and 1.19 of *State Environmental Planning Policy (Exempt and Complying Development Codes) 2008*?

GENERAL HOUSING CODE

Complying Development under the General Housing Code **may** be carried out on the land. This information needs to be read in conjunction with the whole of the State Environmental Planning Policy (Exempt and Complying Development Codes) 2008.

RURAL HOUSING CODE

Complying development under the Rural Housing Code **may** be carried out on the land. This information needs to be read in conjunction with the whole of the State Environmental Planning Policy (Exempt and Complying Development Codes) 2008.

LOW RISE HOUSING DIVERSITY CODE

Complying Development under the Low Rise Housing Diversity Code **may** be carried out on the land. This information needs to be read in conjunction with the whole of the State Environmental Planning Policy (Exempt and Complying Development Codes) 2008.

GREENFIELD HOUSING CODE

Greenfield Housing Code **is not** applicable to this land.

HOUSING ALTERATIONS CODE

Complying development under the Housing Alterations Code **may** be carried out on the land. This information needs to be read in conjunction with the whole of the State Environmental Planning Policy (Exempt and Complying Development Codes) 2008.

GENERAL DEVELOPMENT CODE

Complying development under the General Development Code **may** be carried out on the land. This information needs to be read in conjunction with the whole of the State Environmental Planning Policy (Exempt and Complying Development Codes) 2008.

COMMERCIAL AND INDUSTRIAL ALTERATIONS CODE

Complying development under the Commercial and Industrial Alterations Code **may** be carried out on the land. This information needs to be read in conjunction with the whole of the State Environmental Planning Policy (Exempt and Complying Development Codes) 2008.

COMMERCIAL AND INDUSTRIAL (NEW BUILDINGS AND ADDITIONS) CODE

Complying development under the Commercial and Industrial (New Buildings and Additions) Code **may** be carried out on the land. This information needs to be read in conjunction with the whole of the State Environmental Planning Policy (Exempt and Complying Development Codes) 2008.

CONTAINER RECYCLING FACILITIES CODE

Complying Development under the Container Recycling Facilities Code **may** be carried out on the land. This information needs to be read in conjunction with the whole of the State Environmental Planning Policy (Exempt and Complying Development Codes) 2008.

SUBDIVISIONS CODE

Complying Development under the General Housing Code **may** be carried out on the land. This information needs to be read in conjunction with the whole of the State Environmental Planning Policy (Exempt and Complying Development Codes) 2008.

DEMOLITION CODE

Complying development under the Demolition code **may** be carried out on the land. This information needs to be read in conjunction with the whole of the State Environmental Planning Policy (Exempt and Complying Development Codes) 2008.

FIRE SAFETY CODE

Complying development under the Fire Safety Code **may** be carried out on the land. This information needs to be read in conjunction with the whole of the State Environmental Planning Policy (Exempt and Complying Development Codes) 2008.

| | |
|----------|---------------------------|
| 5 | EXEMPT DEVELOPMENT |
|----------|---------------------------|

Whether or not the land is land on which exempt development may be carried out under each of the exempt development codes under *State Environmental Planning Policy (Exempt and Complying Development Codes) 2008* because of that Policy, clause 1.16(1) (b1)–(d) or 1.16A.

GENERAL EXEMPT DEVELOPMENT CODE

Exempt development under the General Exempt Development Code applies to this land. This information needs to be read in conjunction with the whole of the State Environmental Planning Policy (Exempt and Complying Development Codes) 2008.

ADVERTISING AND SIGNAGE EXEMPT DEVELOPMENT CODE

Exempt development under the Advertising and Signage Exempt Development Code applies to this land. This information needs to be read in conjunction with the whole of the State Environmental Planning Policy (Exempt and Complying Development Codes) 2008.

TEMPORARY USES AND STRUCTURES EXEMPT DEVELOPMENT CODE

Exempt development under the Temporary Uses and Structures Exempt Development Code applies to this land. This information needs to be read in conjunction with the whole of the State Environmental Planning Policy (Exempt and Complying Development Codes) 2008.

| | |
|----------|--|
| 6 | AFFECTED BUILDING NOTICES AND BUILDING PRODUCT RECTIFICATION ORDERS (<i>BUILDING PRODUCT SAFETY ACT 2017</i>) |
|----------|--|

1(a) Is there any affected building notice of which the council is aware that is in force in respect of the land?

No

1(b) Is there any building product rectification order of which the council is aware that is in force in respect of the land and has not been fully complied with?

No

1(c) Is there any notice of intention to make a building product rectification order of which the council is aware has been given in respect of the land and is outstanding?

No

In this section—

affected building notice has the same meaning as in the *Building Products (Safety) Act 2017*, Part 4.

building product rectification order has the same meaning as in the *Building Products (Safety) Act 2017*

| | |
|----------|--------------------------------------|
| 7 | LAND RESERVED FOR ACQUISITION |
|----------|--------------------------------------|

The following environmental planning instruments and proposed environmental planning instruments make provisions for the acquisition of the land by a public authority as referred to in Section 3.15 of the Act:

Nil

| | |
|----------|---|
| 8 | ROAD WIDENING AND ROAD ALIGNMENT |
|----------|---|

(a) DIVISION 2 OF PART 3 OF THE *ROADS ACT 1993*

The land is not affected by road realignment or road widening under the above.

(b) ENVIRONMENTAL PLANNING INSTRUMENT

The land is not affected by road widening or road re-alignment under the above.

(c) COUNCIL RESOLUTIONS

The land is not affected by road widening or road re-alignment under the above.

| | |
|----------|---|
| 9 | FLOOD RELATED DEVELOPMENT CONTROLS |
|----------|---|

(1) The land or part of the land **is** within the flood planning area and **is** subject to flood related development controls.

(2) The land or part of the land **is** between the flood planning area and the probable maximum flood and **is** subject to flood related development controls.

(3) In this section—

flood planning area has the same meaning as in the Floodplain Development Manual.

Floodplain Development Manual means the Floodplain Development Manual (ISBN 0 7347 5476 0) published by the NSW Government in April 2005.

probable maximum flood has the same meaning as in the Floodplain Development Manual.

| | |
|-----------|--|
| 10 | COUNCIL AND OTHER PUBLIC AUTHORITY POLICIES ON HAZARD RISK RESTRICTIONS |
|-----------|--|

This land **is** affected by a policy adopted by the council or other public authority that restricts the development of the land because of the likelihood of risk restrictions. This land **is** affected because:

Acid sulfate class 5.

In this section—

adopted policy means a policy adopted—

- (a) by the council, or
- (b) by another public authority, if the public authority has notified the council that the policy will be included in a planning certificate issued by the council.

| | |
|-----------|-----------------------------|
| 11 | BUSH FIRE PRONE LAND |
|-----------|-----------------------------|

The information currently available to Council indicates that **some** of the land is bushfire prone land (as defined in the Act).

The information currently available to Council indicates that **all** of the land is bushfire prone land (as defined in the Act).

| | |
|-----------|---------------------------------------|
| 12 | LOOSE-FILL ASBESTOS INSULATION |
|-----------|---------------------------------------|

This land does not include any residential premises (within the meaning of Division 1A of Part 8 of the *Home Building Act 1989*) that are listed on the register that is required to be maintained under that Division. That register lists residential premises that contain or have contained loose-fill asbestos insulation.

| | |
|-----------|------------------------|
| 13 | MINE SUBSIDENCE |
|-----------|------------------------|

The land **IS NOT WITHIN** a Mine Subsidence District declared under section 20 of the *Coal Mine Subsidence Compensation Act 2017*.

| | |
|-----------|--------------------------------------|
| 14 | PAPER SUBDIVISION INFORMATION |
|-----------|--------------------------------------|

- (1) The name of any development plan adopted by a relevant authority that:
 - (a) applies to this land or
 - (b) that is proposed to be subject to a consent ballot.

Nil

- (2) The date of any subdivision order that applies to this land.

Not applicable

Words and expressions used in this clause have the same meaning as they have in Part 10 of the *Environmental Planning and Assessment Regulation 2021* and Schedule 7 of the *Environmental Planning and Assessment Act 1979*.

| | |
|-----------|----------------------------------|
| 15 | PROPERTY VEGETATION PLANS |
|-----------|----------------------------------|

Council **has not** been notified by Local Land Services – Greater Sydney that the land is subject to a property vegetation plan approved under Part 4 of the *Native Vegetation Act*

2003.

| | |
|-----------|---------------------------------------|
| 16 | BIODIVERSITY STEWARDSHIP SITES |
|-----------|---------------------------------------|

Council **has not** been notified by the Director-General of the Department of Planning and Environment that the land is a biodiversity stewardship site under a biodiversity stewardship agreement under Part 5 of the Biodiversity Conservation Act, 2016.

Note: Biodiversity stewardship agreements include biobanking agreements under the *Threatened Species Conservation Act 1995*, Part 7A that are taken to be biodiversity stewardship agreements under the *Biodiversity Conservation Act 2016*, Part 5.

| | |
|-----------|------------------------------------|
| 17 | BIODIVERSITY CERTIFIED LAND |
|-----------|------------------------------------|

The land **is not** biodiversity certified land within the meaning of Part 8 of the *Biodiversity Conservation Act, 2016*.

Note: Biodiversity certified land includes land certified under the *Threatened Species Conservation Act 1995*, Part 7AA that is taken to be certified under the *Biodiversity Conservation Act 2016*, Part 8.

| | |
|-----------|---|
| 18 | ORDERS UNDER <i>TREES (DISPUTES BETWEEN NEIGHBOURS) ACT 2006</i> |
|-----------|---|

Council **has not** been notified of an Order issued under the Trees (Disputes between Neighbours) Act 2006.

NOTE: This advice is based on information provided by the Land and Environment Court

| | |
|-----------|---|
| 19 | ANNUAL CHARGES UNDER <i>LOCAL GOVERNMENT ACT 1993</i> FOR COASTAL PROTECTION SERVICES THAT RELATE TO EXISTING COASTAL PROTECTION WORKS |
|-----------|---|

The owner (or any previous owner) of the land has not consented in writing to the land being subject to annual charges under section 496B of the *Local Government Act 1993* for coastal protection services that relate to existing coastal protection works.

In this section—

existing coastal protection works has the same meaning as in the *Local Government Act 1993*, section 553B.

Note—

Existing coastal protection works are works to reduce the impact of coastal hazards on land, such as seawalls, revetments, groynes and beach nourishment, that existed before 1 January 2011.

| | |
|-----------|------------------------------------|
| 20 | WESTERN SYDNEY AEROTROPOLIS |
|-----------|------------------------------------|

Not applicable to Central Coast Local Government Area

| | |
|-----------|---|
| 21 | DEVELOPMENT CONSENT CONDITIONS FOR SENIORS HOUSING |
|-----------|---|

Council **is not** aware of there being a current Site Compatibility Certificate (seniors housing) issued by the Director-General of the Department of Planning and Environment in respect of the land.

NOTE: This advice is based on information provided by the NSW Department of Planning and Environment.

| | |
|-----------|---|
| 22 | SITE COMPATIBILITY CERTIFICATES AND DEVELOPMENT CONSENT CONDITIONS FOR AFFORDABLE RENTAL HOUSING |
|-----------|---|

Council **is not** aware of there being a valid Site Compatibility Certificate (affordable rental housing) issued by the Director-General of the Department of Planning and Environment in respect of the land.

NOTE: This advice is based on information provided by the NSW Department of Planning and Environment.

NOTE

| |
|--|
| CONTAMINATED LAND MANAGEMENT ACT 1997 |
|--|

The following matters are prescribed by section 59 (2) of the *Contaminated Land Management Act 1997* as additional matters to be specified in a planning certificate:

- (a) The land to which the certificate relates is significantly contaminated land within the meaning of that Act - if the land (or part of the land) is significantly contaminated land at the date when the certificate is issued,

No

- (b) The land to which the certificate relates is subject to a management order within the meaning of that Act - if it is subject to such an order at the date when the certificate is issued,

No

- (c) The land to which the certificate relates is the subject of an approved voluntary management proposal within the meaning of that Act - if it is the subject of such an approved proposal at the date when the certificate is issued,

No

- (d) The land to which the certificate relates is subject to an ongoing maintenance order within the meaning of that Act - if it is subject to such an order at the date when the certificate is issued,

No

- (e) The land to which the certificate relates is the subject of a site audit statement within the meaning of that Act - if a copy of such a statement has been provided at any time to the local authority issuing the certificate.

No

**ADVICE PROVIDED PURSUANT TO S.10.7(5) OF THE ENVIRONMENTAL
PLANNING AND ASSESSMENT ACT 1979**

NOTE: SECTION 10.7(6) OF THE ACT STATES THAT A COUNCIL SHALL NOT INCUR ANY LIABILITY IN RESPECT OF ANY ADVICE PROVIDED IN GOOD FAITH PURSUANT TO SUBSECTION (5).

- 23.1** The property is subject to Environmental Planning and Assessment (Special Infrastructure Contribution - Gosford City Centre) Determination 2018 made by the Minister for Planning, pursuant to section 7.23 of the Environmental Planning and Assessment Act 1979 on 12 October 2018 (enquiries to the Department of Planning Industry and Environment).

For any enquiries regarding this Certificate, please contact Council's Customer Contact Centre on 1300 463 954.

Karen Hansen
Signed on Behalf of Central Coast Council

LAND USE TABLE

Zone B6 Enterprise Corridor

State Environmental Planning Policy (Precincts—Regional) 2021 Gosford City Centre

1 Objectives of zone

- To promote businesses along main roads and to encourage a mix of compatible uses.
- To provide a range of employment uses (including business, office, retail and light industrial uses).
- To maintain the economic strength of centres by limiting retailing activity.
- To provide for residential uses, but only as part of a mixed use development.

2 Permitted without consent

Nil

3 Permitted with consent

Business premises; Community facilities; Garden centres; Hardware and building supplies; Hotel or motel accommodation; Landscaping material supplies; Light industries; Multi dwelling housing; Passenger transport facilities; Plant nurseries; Recreation facilities (indoor); Residential flat buildings; Roads; Shop top housing; Warehouse or distribution centres; Any other development not specified in item 2 or 4

4 Prohibited

Agriculture; Air transport facilities; Amusement centres; Animal boarding or training establishments; Biosolids treatment facilities; Boat building and repair facilities; Boat sheds; Camping grounds; Caravan parks; Cemeteries; Centre-based child care facilities; Charter and tourism boating facilities; Correctional centres; Crematoria; Depots; Eco-tourist facilities; Electricity generating works; Environmental facilities; Environmental protection works; Exhibition homes; Exhibition villages; Extractive industries; Farm buildings; Flood mitigation works; Forestry; Freight transport facilities; Function centres; Heavy industrial storage establishments; Highway service centres; Home-based child care; Home businesses; Home occupations (sex services); Industries; Information and education facilities; Marinas; Mooring pens; Moorings; Mortuaries; Open cut mining; Recreation areas; Recreation facilities (major); Recreation facilities (outdoor); Registered clubs; Research stations; Residential accommodation; Resource recovery facilities; Restricted premises; Rural industries; Rural supplies; Service stations; Sewage treatment plants; Storage premises; Tourist and visitor accommodation; Transport depots; Vehicle body repair workshops; Vehicle repair stations; Veterinary hospitals; Waste disposal facilities; Water recreation structures; Water recycling facilities; Water supply systems



Dye & Durham Property Pty Ltd - Melbourne
PO Box 447
SOUTHBANK VIC 3006

SECTION 10.7(2) AND (5) PLANNING CERTIFICATE

Under Section 10.7 of the Environmental Planning and Assessment Act, 1979

| | |
|------------------------------|---|
| Fee paid: | \$156.00 |
| Receipt No: | 17832446 |
| Receipt Date: | 8 November 2022 |
| Property Address: | 5-9 Faunce St W, WEST GOSFORD NSW 2250 |
| Property Description: | Lot 18 DP 1100223 |
| Property Owner | Bhaajayu Pty Ltd and Verugu Pty Ltd and South Pty Ltd and Galbrock Pty Ltd |
| Certificate No: | 55188 |
| Reference No: | 76943654:115269851:226507 |
| Date of issue: | 08-Nov-2022 |

The information contained within this certificate relates to the land.



Wyong Office: 2 Hely St / PO Box 20 Wyong NSW 2259

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**ADVICE PROVIDED PURSUANT TO S.10.7(2) OF THE ENVIRONMENTAL
PLANNING AND ASSESSMENT ACT 1979**

| | |
|----------|---|
| 1 | NAMES OF RELEVANT PLANNING INSTRUMENTS AND DEVELOPMENT CONTROL PLANS |
|----------|---|

**(1) Environmental Planning Instruments and Development Control Plans which
apply to the land**

State Environmental Planning Policy (Precincts Regional) 2021 Pt 5.8 Gosford City Centre

Gosford City Centre Development Control Plan 2018

State Environmental Planning Policy (Vegetation in Non-Rural Areas) 2017

State Environmental Planning Policy (Coastal Management) 2018 (whole of lot).

**ZONE B6 ENTERPRISE CORRIDOR UNDER STATE ENVIRONMENTAL PLANNING
POLICY (GOSFORD CITY CENTRE) 2018**

State Environment Planning Policy (Exempt and Complying Development Codes) 2008

State Environment Planning Policy (Building Sustainability Index: BASIX) 2004

State Environment Planning Policy No. 65 – Design Quality of Residential Apartment
Development

State Environment Planning Policy (Primary Production) 2021

State Environment Planning Policy (Transport and Infrastructure) 2021

State Environment Planning Policy (Biodiversity and Conservation) 2021

State Environment Planning Policy (Resilience and Hazards) 2021

State Environment Planning Policy (Industry and Employment) 2021

State Environment Planning Policy (Resources and Energy) 2021

State Environment Planning Policy (Planning Systems) 2021

State Environmental Planning Policy (Housing) 2021

**(2) Proposed Environmental Planning Instruments and Draft Development Control
Plans which will apply to the land and is or has been the subject of community
consultation or public exhibition**

Proposed State Environmental Planning Policy (Transport and Infrastructure) 2021

Proposed State Environment Planning Policy (Building Sustainability Index: BASIX) 2004

Standard Instrument (Local Environmental Plans) Order 2006

| | |
|----------|--|
| 2 | ZONING AND LAND USE UNDER RELEVANT PLANNING INSTRUMENTS |
|----------|--|

(a) Identity of the Zone

Lot 18 DP 1100223

B6 ENTERPRISE CORRIDOR SEPP

(b) For each of the environmental planning instruments referred to in clause 1, please refer to the attached land use table to determine (i), (ii) and (iii) listed below:

- (i) development that may be carried out within the zone without the need for development consent,
- (ii) development which may not be carried out within the zone except with development consent and
- (iii) development which is prohibited within the zone.

(c) Whether additional permitted uses apply to the land

Additional Permitted Uses **do not** apply to this land.

(d) Development Standards applying to the land that fix minimum land dimensions for the erection of a dwelling-house

There are no development standards applying to the land that fix minimum land dimensions for the erection of a dwelling-house on the land. However there are minimum lot sizes applying to the subdivision of land, and in some zones the entitlement to erect a dwelling-house, or carry out other types of residential development, is linked to that minimum lot size.

(e) Land includes or comprises critical habitat

No

(f) Land is in a conservation area

No

(g) Item of environmental heritage is situated on the land

None

| | |
|----------|---------------------------|
| 3 | CONTRIBUTION PLANS |
|----------|---------------------------|

Gosford City Council Section 94A Development Contributions Plan - Gosford City Centre

| | |
|----------|------------------------------|
| 4 | COMPLYING DEVELOPMENT |
|----------|------------------------------|

Whether or not the land is land on which complying development can be carried out under each of the codes for complying development because of the provisions of clause 1.17A(1)(c) to (e), (2), (3) and (4), 1.18(1)(c3) and 1.19 of *State Environmental Planning Policy (Exempt and Complying Development Codes) 2008*?

GENERAL HOUSING CODE

Complying Development under the General Housing Code **may** be carried out on the land. This information needs to be read in conjunction with the whole of the State Environmental Planning Policy (Exempt and Complying Development Codes) 2008.

RURAL HOUSING CODE

Complying development under the Rural Housing Code **may** be carried out on the land. This information needs to be read in conjunction with the whole of the State Environmental Planning Policy (Exempt and Complying Development Codes) 2008.

LOW RISE HOUSING DIVERSITY CODE

Complying Development under the Low Rise Housing Diversity Code **may** be carried out on the land. This information needs to be read in conjunction with the whole of the State Environmental Planning Policy (Exempt and Complying Development Codes) 2008.

GREENFIELD HOUSING CODE

Greenfield Housing Code **is not** applicable to this land.

HOUSING ALTERATIONS CODE

Complying development under the Housing Alterations Code **may** be carried out on the land. This information needs to be read in conjunction with the whole of the State Environmental Planning Policy (Exempt and Complying Development Codes) 2008.

GENERAL DEVELOPMENT CODE

Complying development under the General Development Code **may** be carried out on the land. This information needs to be read in conjunction with the whole of the State Environmental Planning Policy (Exempt and Complying Development Codes) 2008.

COMMERCIAL AND INDUSTRIAL ALTERATIONS CODE

Complying development under the Commercial and Industrial Alterations Code **may** be carried out on the land. This information needs to be read in conjunction with the whole of the State Environmental Planning Policy (Exempt and Complying Development Codes) 2008.

COMMERCIAL AND INDUSTRIAL (NEW BUILDINGS AND ADDITIONS) CODE

Complying development under the Commercial and Industrial (New Buildings and Additions) Code **may** be carried out on the land. This information needs to be read in conjunction with the whole of the State Environmental Planning Policy (Exempt and Complying Development Codes) 2008.

CONTAINER RECYCLING FACILITIES CODE

Complying Development under the Container Recycling Facilities Code **may** be carried out on the land. This information needs to be read in conjunction with the whole of the State Environmental Planning Policy (Exempt and Complying Development Codes) 2008.

SUBDIVISIONS CODE

Complying Development under the General Housing Code **may** be carried out on the land. This information needs to be read in conjunction with the whole of the State Environmental Planning Policy (Exempt and Complying Development Codes) 2008.

DEMOLITION CODE

Complying development under the Demolition code **may** be carried out on the land. This information needs to be read in conjunction with the whole of the State Environmental Planning Policy (Exempt and Complying Development Codes) 2008.

FIRE SAFETY CODE

Complying development under the Fire Safety Code **may** be carried out on the land. This information needs to be read in conjunction with the whole of the State Environmental Planning Policy (Exempt and Complying Development Codes) 2008.

| | |
|----------|---------------------------|
| 5 | EXEMPT DEVELOPMENT |
|----------|---------------------------|

Whether or not the land is land on which exempt development may be carried out under each of the exempt development codes under *State Environmental Planning Policy (Exempt and Complying Development Codes) 2008* because of that Policy, clause 1.16(1) (b1)–(d) or 1.16A.

GENERAL EXEMPT DEVELOPMENT CODE

Exempt development under the General Exempt Development Code applies to this land. This information needs to be read in conjunction with the whole of the State Environmental Planning Policy (Exempt and Complying Development Codes) 2008.

ADVERTISING AND SIGNAGE EXEMPT DEVELOPMENT CODE

Exempt development under the Advertising and Signage Exempt Development Code applies to this land. This information needs to be read in conjunction with the whole of the State Environmental Planning Policy (Exempt and Complying Development Codes) 2008.

TEMPORARY USES AND STRUCTURES EXEMPT DEVELOPMENT CODE

Exempt development under the Temporary Uses and Structures Exempt Development Code applies to this land. This information needs to be read in conjunction with the whole of the State Environmental Planning Policy (Exempt and Complying Development Codes) 2008.

| | |
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| 6 | AFFECTED BUILDING NOTICES AND BUILDING PRODUCT RECTIFICATION ORDERS (<i>BUILDING PRODUCT SAFETY ACT 2017</i>) |
|----------|--|

1(a) Is there any affected building notice of which the council is aware that is in force in respect of the land?

No

1(b) Is there any building product rectification order of which the council is aware that is in force in respect of the land and has not been fully complied with?

No

1(c) Is there any notice of intention to make a building product rectification order of which the council is aware has been given in respect of the land and is outstanding?

No

In this section—

affected building notice has the same meaning as in the *Building Products (Safety) Act 2017*, Part 4.

building product rectification order has the same meaning as in the *Building Products (Safety) Act 2017*

| | |
|----------|--------------------------------------|
| 7 | LAND RESERVED FOR ACQUISITION |
|----------|--------------------------------------|

The following environmental planning instruments and proposed environmental planning instruments make provisions for the acquisition of the land by a public authority as referred to in Section 3.15 of the Act:

Nil

| | |
|----------|---|
| 8 | ROAD WIDENING AND ROAD ALIGNMENT |
|----------|---|

(a) DIVISION 2 OF PART 3 OF THE *ROADS ACT 1993*

The land is not affected by road realignment or road widening under the above.

(b) ENVIRONMENTAL PLANNING INSTRUMENT

The land is not affected by road widening or road re-alignment under the above.

(c) COUNCIL RESOLUTIONS

The land is not affected by road widening or road re-alignment under the above.

| | |
|----------|---|
| 9 | FLOOD RELATED DEVELOPMENT CONTROLS |
|----------|---|

(1) The land or part of the land **is** within the flood planning area and **is** subject to flood related development controls.

(2) The land or part of the land **is** between the flood planning area and the probable maximum flood and **is** subject to flood related development controls.

(3) In this section—

flood planning area has the same meaning as in the Floodplain Development Manual.

Floodplain Development Manual means the Floodplain Development Manual (ISBN 0 7347 5476 0) published by the NSW Government in April 2005.

probable maximum flood has the same meaning as in the Floodplain Development Manual.

| | |
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| 10 | COUNCIL AND OTHER PUBLIC AUTHORITY POLICIES ON HAZARD RISK RESTRICTIONS |
|-----------|--|

This land **is** affected by a policy adopted by the council or other public authority that restricts the development of the land because of the likelihood of risk restrictions. This land **is** affected because:

Acid sulfate class 5.

In this section—

adopted policy means a policy adopted—

- (a) by the council, or
- (b) by another public authority, if the public authority has notified the council that the policy will be included in a planning certificate issued by the council.

| | |
|-----------|-----------------------------|
| 11 | BUSH FIRE PRONE LAND |
|-----------|-----------------------------|

The information currently available to Council indicates that **some** of the land is bushfire prone land (as defined in the Act).

The information currently available to Council indicates that **all** of the land is bushfire prone land (as defined in the Act).

| | |
|-----------|---------------------------------------|
| 12 | LOOSE-FILL ASBESTOS INSULATION |
|-----------|---------------------------------------|

This land does not include any residential premises (within the meaning of Division 1A of Part 8 of the *Home Building Act 1989*) that are listed on the register that is required to be maintained under that Division. That register lists residential premises that contain or have contained loose-fill asbestos insulation.

| | |
|-----------|------------------------|
| 13 | MINE SUBSIDENCE |
|-----------|------------------------|

The land **IS NOT WITHIN** a Mine Subsidence District declared under section 20 of the *Coal Mine Subsidence Compensation Act 2017*.

| | |
|-----------|--------------------------------------|
| 14 | PAPER SUBDIVISION INFORMATION |
|-----------|--------------------------------------|

- (1) The name of any development plan adopted by a relevant authority that:
 - (a) applies to this land or
 - (b) that is proposed to be subject to a consent ballot.

Nil

- (2) The date of any subdivision order that applies to this land.

Not applicable

Words and expressions used in this clause have the same meaning as they have in Part 10 of the *Environmental Planning and Assessment Regulation 2021* and Schedule 7 of the *Environmental Planning and Assessment Act 1979*.

| | |
|-----------|----------------------------------|
| 15 | PROPERTY VEGETATION PLANS |
|-----------|----------------------------------|

Council **has not** been notified by Local Land Services – Greater Sydney that the land is subject to a property vegetation plan approved under Part 4 of the *Native Vegetation Act*

2003.

| | |
|-----------|---------------------------------------|
| 16 | BIODIVERSITY STEWARDSHIP SITES |
|-----------|---------------------------------------|

Council **has not** been notified by the Director-General of the Department of Planning and Environment that the land is a biodiversity stewardship site under a biodiversity stewardship agreement under Part 5 of the Biodiversity Conservation Act, 2016.

Note: Biodiversity stewardship agreements include biobanking agreements under the *Threatened Species Conservation Act 1995*, Part 7A that are taken to be biodiversity stewardship agreements under the *Biodiversity Conservation Act 2016*, Part 5.

| | |
|-----------|------------------------------------|
| 17 | BIODIVERSITY CERTIFIED LAND |
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The land **is not** biodiversity certified land within the meaning of Part 8 of the *Biodiversity Conservation Act, 2016*.

Note: Biodiversity certified land includes land certified under the *Threatened Species Conservation Act 1995*, Part 7AA that is taken to be certified under the *Biodiversity Conservation Act 2016*, Part 8.

| | |
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| 18 | ORDERS UNDER <i>TREES (DISPUTES BETWEEN NEIGHBOURS) ACT 2006</i> |
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Council **has not** been notified of an Order issued under the Trees (Disputes between Neighbours) Act 2006.

NOTE: This advice is based on information provided by the Land and Environment Court

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| 19 | ANNUAL CHARGES UNDER <i>LOCAL GOVERNMENT ACT 1993</i> FOR COASTAL PROTECTION SERVICES THAT RELATE TO EXISTING COASTAL PROTECTION WORKS |
|-----------|---|

The owner (or any previous owner) of the land has not consented in writing to the land being subject to annual charges under section 496B of the *Local Government Act 1993* for coastal protection services that relate to existing coastal protection works.

In this section—

existing coastal protection works has the same meaning as in the *Local Government Act 1993*, section 553B.

Note—

Existing coastal protection works are works to reduce the impact of coastal hazards on land, such as seawalls, revetments, groynes and beach nourishment, that existed before 1 January 2011.

| | |
|-----------|------------------------------------|
| 20 | WESTERN SYDNEY AEROTROPOLIS |
|-----------|------------------------------------|

Not applicable to Central Coast Local Government Area

| | |
|-----------|---|
| 21 | DEVELOPMENT CONSENT CONDITIONS FOR SENIORS HOUSING |
|-----------|---|

Council **is not** aware of there being a current Site Compatibility Certificate (seniors housing) issued by the Director-General of the Department of Planning and Environment in respect of the land.

NOTE: This advice is based on information provided by the NSW Department of Planning and Environment.

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| 22 | SITE COMPATIBILITY CERTIFICATES AND DEVELOPMENT CONSENT CONDITIONS FOR AFFORDABLE RENTAL HOUSING |
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Council **is not** aware of there being a valid Site Compatibility Certificate (affordable rental housing) issued by the Director-General of the Department of Planning and Environment in respect of the land.

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NOTE

| |
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| CONTAMINATED LAND MANAGEMENT ACT 1997 |
|--|

The following matters are prescribed by section 59 (2) of the *Contaminated Land Management Act 1997* as additional matters to be specified in a planning certificate:

- (a) The land to which the certificate relates is significantly contaminated land within the meaning of that Act - if the land (or part of the land) is significantly contaminated land at the date when the certificate is issued,

No

- (b) The land to which the certificate relates is subject to a management order within the meaning of that Act - if it is subject to such an order at the date when the certificate is issued,

No

- (c) The land to which the certificate relates is the subject of an approved voluntary management proposal within the meaning of that Act - if it is the subject of such an approved proposal at the date when the certificate is issued,

No

- (d) The land to which the certificate relates is subject to an ongoing maintenance order within the meaning of that Act - if it is subject to such an order at the date when the certificate is issued,

No

- (e) The land to which the certificate relates is the subject of a site audit statement within the meaning of that Act - if a copy of such a statement has been provided at any time to the local authority issuing the certificate.

No

**ADVICE PROVIDED PURSUANT TO S.10.7(5) OF THE ENVIRONMENTAL
PLANNING AND ASSESSMENT ACT 1979**

NOTE: SECTION 10.7(6) OF THE ACT STATES THAT A COUNCIL SHALL NOT INCUR ANY LIABILITY IN RESPECT OF ANY ADVICE PROVIDED IN GOOD FAITH PURSUANT TO SUBSECTION (5).

- 23.1** The property is subject to Environmental Planning and Assessment (Special Infrastructure Contribution - Gosford City Centre) Determination 2018 made by the Minister for Planning, pursuant to section 7.23 of the Environmental Planning and Assessment Act 1979 on 12 October 2018 (enquiries to the Department of Planning Industry and Environment).

For any enquiries regarding this Certificate, please contact Council's Customer Contact Centre on 1300 463 954.

Karen Hansen
Signed on Behalf of Central Coast Council

LAND USE TABLE

Zone B6 Enterprise Corridor

State Environmental Planning Policy (Precincts—Regional) 2021 Gosford City Centre

1 Objectives of zone

- To promote businesses along main roads and to encourage a mix of compatible uses.
- To provide a range of employment uses (including business, office, retail and light industrial uses).
- To maintain the economic strength of centres by limiting retailing activity.
- To provide for residential uses, but only as part of a mixed use development.

2 Permitted without consent

Nil

3 Permitted with consent

Business premises; Community facilities; Garden centres; Hardware and building supplies; Hotel or motel accommodation; Landscaping material supplies; Light industries; Multi dwelling housing; Passenger transport facilities; Plant nurseries; Recreation facilities (indoor); Residential flat buildings; Roads; Shop top housing; Warehouse or distribution centres; Any other development not specified in item 2 or 4

4 Prohibited

Agriculture; Air transport facilities; Amusement centres; Animal boarding or training establishments; Biosolids treatment facilities; Boat building and repair facilities; Boat sheds; Camping grounds; Caravan parks; Cemeteries; Centre-based child care facilities; Charter and tourism boating facilities; Correctional centres; Crematoria; Depots; Eco-tourist facilities; Electricity generating works; Environmental facilities; Environmental protection works; Exhibition homes; Exhibition villages; Extractive industries; Farm buildings; Flood mitigation works; Forestry; Freight transport facilities; Function centres; Heavy industrial storage establishments; Highway service centres; Home-based child care; Home businesses; Home occupations (sex services); Industries; Information and education facilities; Marinas; Mooring pens; Moorings; Mortuaries; Open cut mining; Recreation areas; Recreation facilities (major); Recreation facilities (outdoor); Registered clubs; Research stations; Residential accommodation; Resource recovery facilities; Restricted premises; Rural industries; Rural supplies; Service stations; Sewage treatment plants; Storage premises; Tourist and visitor accommodation; Transport depots; Vehicle body repair workshops; Vehicle repair stations; Veterinary hospitals; Waste disposal facilities; Water recreation structures; Water recycling facilities; Water supply systems



Dye & Durham Property Pty Ltd - Melbourne
PO Box 447
SOUTHBANK VIC 3006

SECTION 10.7(2) AND (5) PLANNING CERTIFICATE

Under Section 10.7 of the Environmental Planning and Assessment Act, 1979

| | |
|------------------------------|---|
| Fee paid: | \$156.00 |
| Receipt No: | 17831509 |
| Receipt Date: | 7 November 2022 |
| Property Address: | 7A Racecourse Road, WEST GOSFORD NSW 2250 |
| Property Description: | Lot 74 DP 810836 |
| Property Owner | Bhaajayu Pty Ltd and South Pty Ltd and Busways East Pty Ltd and Verugu Pty Ltd and Galbrock Pty Ltd |
| Certificate No: | 55149 |
| Reference No: | 76941912:115268072:226467 |
| Date of issue: | 08-Nov-2022 |

The information contained within this certificate relates to the land.



Wyong Office: 2 Hely St / PO Box 20 Wyong NSW 2259

P 02 4306 7900 | E ask@centralcoast.nsw.gov.au | W centralcoast.nsw.gov.au | ABN 73 149 644 003

**ADVICE PROVIDED PURSUANT TO S.10.7(2) OF THE ENVIRONMENTAL
PLANNING AND ASSESSMENT ACT 1979**

| | |
|----------|---|
| 1 | NAMES OF RELEVANT PLANNING INSTRUMENTS AND DEVELOPMENT CONTROL PLANS |
|----------|---|

**(1) Environmental Planning Instruments and Development Control Plans which
apply to the land**

State Environmental Planning Policy (Precincts Regional) 2021 Pt 5.8 Gosford City Centre

Gosford City Centre Development Control Plan 2018

**ZONE B6 ENTERPRISE CORRIDOR UNDER STATE ENVIRONMENTAL PLANNING
POLICY (GOSFORD CITY CENTRE) 2018**

State Environment Planning Policy (Exempt and Complying Development Codes) 2008

State Environment Planning Policy (Building Sustainability Index: BASIX) 2004

State Environment Planning Policy No. 65 – Design Quality of Residential Apartment
Development

State Environment Planning Policy (Primary Production) 2021

State Environment Planning Policy (Transport and Infrastructure) 2021

State Environment Planning Policy (Biodiversity and Conservation) 2021

State Environment Planning Policy (Resilience and Hazards) 2021

State Environment Planning Policy (Industry and Employment) 2021

State Environment Planning Policy (Resources and Energy) 2021

State Environment Planning Policy (Planning Systems) 2021

State Environmental Planning Policy (Housing) 2021

**(2) Proposed Environmental Planning Instruments and Draft Development Control
Plans which will apply to the land and is or has been the subject of community
consultation or public exhibition**

Proposed State Environmental Planning Policy (Transport and Infrastructure) 2021

Proposed State Environment Planning Policy (Building Sustainability Index: BASIX) 2004

Standard Instrument (Local Environmental Plans) Order 2006

| | |
|----------|--|
| 2 | ZONING AND LAND USE UNDER RELEVANT PLANNING INSTRUMENTS |
|----------|--|

(a) Identity of the Zone

Lot 74 DP 810836

B6 ENTERPRISE CORRIDOR SEPP

(b) For each of the environmental planning instruments referred to in clause 1, please refer to the attached land use table to determine (i), (ii) and (iii) listed below:

- (i) development that may be carried out within the zone without the need for development consent,
- (ii) development which may not be carried out within the zone except with development consent and
- (iii) development which is prohibited within the zone.

(c) Whether additional permitted uses apply to the land

Additional Permitted Uses **do not** apply to this land.

(d) Development Standards applying to the land that fix minimum land dimensions for the erection of a dwelling-house

There are no development standards applying to the land that fix minimum land dimensions for the erection of a dwelling-house on the land. However there are minimum lot sizes applying to the subdivision of land, and in some zones the entitlement to erect a dwelling-house, or carry out other types of residential development, is linked to that minimum lot size.

(e) Land includes or comprises critical habitat

No

(f) Land is in a conservation area

No

(g) Item of environmental heritage is situated on the land

None

| | |
|----------|---------------------------|
| 3 | CONTRIBUTION PLANS |
|----------|---------------------------|

Gosford City Council Section 94A Development Contributions Plan - Gosford City Centre

| | |
|----------|------------------------------|
| 4 | COMPLYING DEVELOPMENT |
|----------|------------------------------|

Whether or not the land is land on which complying development can be carried out under each of the codes for complying development because of the provisions of clause 1.17A(1)(c) to (e), (2), (3) and (4), 1.18(1)(c3) and 1.19 of *State Environmental Planning Policy (Exempt and Complying Development Codes) 2008*?

GENERAL HOUSING CODE

Complying Development under the General Housing Code **may** be carried out on the land. This information needs to be read in conjunction with the whole of the State Environmental Planning Policy (Exempt and Complying Development Codes) 2008.

RURAL HOUSING CODE

Complying development under the Rural Housing Code **may** be carried out on the land. This information needs to be read in conjunction with the whole of the State Environmental Planning Policy (Exempt and Complying Development Codes) 2008.

LOW RISE HOUSING DIVERSITY CODE

Complying Development under the Low Rise Housing Diversity Code **may** be carried out on the land. This information needs to be read in conjunction with the whole of the State Environmental Planning Policy (Exempt and Complying Development Codes) 2008.

GREENFIELD HOUSING CODE

Greenfield Housing Code **is not** applicable to this land.

HOUSING ALTERATIONS CODE

Complying development under the Housing Alterations Code **may** be carried out on the land. This information needs to be read in conjunction with the whole of the State Environmental Planning Policy (Exempt and Complying Development Codes) 2008.

GENERAL DEVELOPMENT CODE

Complying development under the General Development Code **may** be carried out on the land. This information needs to be read in conjunction with the whole of the State Environmental Planning Policy (Exempt and Complying Development Codes) 2008.

COMMERCIAL AND INDUSTRIAL ALTERATIONS CODE

Complying development under the Commercial and Industrial Alterations Code **may** be carried out on the land. This information needs to be read in conjunction with the whole of the State Environmental Planning Policy (Exempt and Complying Development Codes) 2008.

COMMERCIAL AND INDUSTRIAL (NEW BUILDINGS AND ADDITIONS) CODE

Complying development under the Commercial and Industrial (New Buildings and Additions) Code **may** be carried out on the land. This information needs to be read in conjunction with the whole of the State Environmental Planning Policy (Exempt and Complying Development Codes) 2008.

CONTAINER RECYCLING FACILITIES CODE

Complying Development under the Container Recycling Facilities Code **may** be carried out on the land. This information needs to be read in conjunction with the whole of the State Environmental Planning Policy (Exempt and Complying Development Codes) 2008.

SUBDIVISIONS CODE

Complying Development under the General Housing Code **may** be carried out on the land. This information needs to be read in conjunction with the whole of the State Environmental Planning Policy (Exempt and Complying Development Codes) 2008.

DEMOLITION CODE

Complying development under the Demolition code **may** be carried out on the land. This information needs to be read in conjunction with the whole of the State Environmental Planning Policy (Exempt and Complying Development Codes) 2008.

FIRE SAFETY CODE

Complying development under the Fire Safety Code **may** be carried out on the land. This information needs to be read in conjunction with the whole of the State Environmental Planning Policy (Exempt and Complying Development Codes) 2008.

| | |
|----------|---------------------------|
| 5 | EXEMPT DEVELOPMENT |
|----------|---------------------------|

Whether or not the land is land on which exempt development may be carried out under each of the exempt development codes under *State Environmental Planning Policy (Exempt and Complying Development Codes) 2008* because of that Policy, clause 1.16(1) (b1)–(d) or 1.16A.

GENERAL EXEMPT DEVELOPMENT CODE

Exempt development under the General Exempt Development Code applies to this land. This information needs to be read in conjunction with the whole of the State Environmental Planning Policy (Exempt and Complying Development Codes) 2008.

ADVERTISING AND SIGNAGE EXEMPT DEVELOPMENT CODE

Exempt development under the Advertising and Signage Exempt Development Code applies to this land. This information needs to be read in conjunction with the whole of the State Environmental Planning Policy (Exempt and Complying Development Codes) 2008.

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| 6 | AFFECTED BUILDING NOTICES AND BUILDING PRODUCT RECTIFICATION ORDERS (<i>BUILDING PRODUCT SAFETY ACT 2017</i>) |
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1(a) Is there any affected building notice of which the council is aware that is in force in respect of the land?

No

1(b) Is there any building product rectification order of which the council is aware that is in force in respect of the land and has not been fully complied with?

No

1(c) Is there any notice of intention to make a building product rectification order of which the council is aware has been given in respect of the land and is outstanding?

No

In this section—

affected building notice has the same meaning as in the *Building Products (Safety) Act 2017*, Part 4.

building product rectification order has the same meaning as in the *Building Products (Safety) Act 2017*

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The following environmental planning instruments and proposed environmental planning instruments make provisions for the acquisition of the land by a public authority as referred to in Section 3.15 of the Act:

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(a) DIVISION 2 OF PART 3 OF THE *ROADS ACT 1993*

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The land is not affected by road widening or road re-alignment under the above.

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- (1) The name of any development plan adopted by a relevant authority that:
 - (a) applies to this land or
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Nil

- (2) The date of any subdivision order that applies to this land.

Not applicable

Words and expressions used in this clause have the same meaning as they have in Part 10 of the *Environmental Planning and Assessment Regulation 2021* and Schedule 7 of the *Environmental Planning and Assessment Act 1979*.

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Karen Hansen
Signed on Behalf of Central Coast Council

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Nil

3 Permitted with consent

Business premises; Community facilities; Garden centres; Hardware and building supplies; Hotel or motel accommodation; Landscaping material supplies; Light industries; Multi dwelling housing; Passenger transport facilities; Plant nurseries; Recreation facilities (indoor); Residential flat buildings; Roads; Shop top housing; Warehouse or distribution centres; Any other development not specified in item 2 or 4

4 Prohibited

Agriculture; Air transport facilities; Amusement centres; Animal boarding or training establishments; Biosolids treatment facilities; Boat building and repair facilities; Boat sheds; Camping grounds; Caravan parks; Cemeteries; Centre-based child care facilities; Charter and tourism boating facilities; Correctional centres; Crematoria; Depots; Eco-tourist facilities; Electricity generating works; Environmental facilities; Environmental protection works; Exhibition homes; Exhibition villages; Extractive industries; Farm buildings; Flood mitigation works; Forestry; Freight transport facilities; Function centres; Heavy industrial storage establishments; Highway service centres; Home-based child care; Home businesses; Home occupations (sex services); Industries; Information and education facilities; Marinas; Mooring pens; Moorings; Mortuaries; Open cut mining; Recreation areas; Recreation facilities (major); Recreation facilities (outdoor); Registered clubs; Research stations; Residential accommodation; Resource recovery facilities; Restricted premises; Rural industries; Rural supplies; Service stations; Sewage treatment plants; Storage premises; Tourist and visitor accommodation; Transport depots; Vehicle body repair workshops; Vehicle repair stations; Veterinary hospitals; Waste disposal facilities; Water recreation structures; Water recycling facilities; Water supply systems



Dye & Durham Property Pty Ltd - Melbourne
PO Box 447
SOUTHBANK VIC 3006

SECTION 10.7(2) AND (5) PLANNING CERTIFICATE

Under Section 10.7 of the Environmental Planning and Assessment Act, 1979

| | |
|------------------------------|---|
| Fee paid: | \$156.00 |
| Receipt No: | 17832440 |
| Receipt Date: | 8 November 2022 |
| Property Address: | 11 Racecourse Road, WEST GOSFORD NSW 2250 |
| Property Description: | Lot 72 DP 810836 |
| Property Owner | Bhaajayu Pty Ltd and Verugu Pty Ltd and South Pty Ltd and Galbrock Pty Ltd |
| Certificate No: | 55182 |
| Reference No: | 76943558:115269738:226505 |
| Date of issue: | 08-Nov-2022 |

The information contained within this certificate relates to the land.



Wyong Office: 2 Hely St / PO Box 20 Wyong NSW 2259

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**ADVICE PROVIDED PURSUANT TO S.10.7(2) OF THE ENVIRONMENTAL
PLANNING AND ASSESSMENT ACT 1979**

| | |
|----------|---|
| 1 | NAMES OF RELEVANT PLANNING INSTRUMENTS AND DEVELOPMENT CONTROL PLANS |
|----------|---|

**(1) Environmental Planning Instruments and Development Control Plans which
apply to the land**

State Environmental Planning Policy (Precincts Regional) 2021 Pt 5.8 Gosford City Centre

Gosford City Centre Development Control Plan 2018

**ZONE B6 ENTERPRISE CORRIDOR UNDER STATE ENVIRONMENTAL PLANNING
POLICY (GOSFORD CITY CENTRE) 2018**

State Environment Planning Policy (Exempt and Complying Development Codes) 2008

State Environment Planning Policy (Building Sustainability Index: BASIX) 2004

State Environment Planning Policy No. 65 – Design Quality of Residential Apartment
Development

State Environment Planning Policy (Primary Production) 2021

State Environment Planning Policy (Transport and Infrastructure) 2021

State Environment Planning Policy (Biodiversity and Conservation) 2021

State Environment Planning Policy (Resilience and Hazards) 2021

State Environment Planning Policy (Industry and Employment) 2021

State Environment Planning Policy (Resources and Energy) 2021

State Environment Planning Policy (Planning Systems) 2021

State Environmental Planning Policy (Housing) 2021

**(2) Proposed Environmental Planning Instruments and Draft Development Control
Plans which will apply to the land and is or has been the subject of community
consultation or public exhibition**

Proposed State Environmental Planning Policy (Transport and Infrastructure) 2021

Proposed State Environment Planning Policy (Building Sustainability Index: BASIX) 2004

Standard Instrument (Local Environmental Plans) Order 2006

| | |
|----------|--|
| 2 | ZONING AND LAND USE UNDER RELEVANT PLANNING INSTRUMENTS |
|----------|--|

(a) Identity of the Zone

Lot 72 DP 810836

B6 ENTERPRISE CORRIDOR SEPP

(b) For each of the environmental planning instruments referred to in clause 1, please refer to the attached land use table to determine (i), (ii) and (iii) listed below:

- (i) development that may be carried out within the zone without the need for development consent,
- (ii) development which may not be carried out within the zone except with development consent and
- (iii) development which is prohibited within the zone.

(c) Whether additional permitted uses apply to the land

Additional Permitted Uses **do not** apply to this land.

(d) Development Standards applying to the land that fix minimum land dimensions for the erection of a dwelling-house

There are no development standards applying to the land that fix minimum land dimensions for the erection of a dwelling-house on the land. However there are minimum lot sizes applying to the subdivision of land, and in some zones the entitlement to erect a dwelling-house, or carry out other types of residential development, is linked to that minimum lot size.

(e) Land includes or comprises critical habitat

No

(f) Land is in a conservation area

No

(g) Item of environmental heritage is situated on the land

None

| | |
|----------|---------------------------|
| 3 | CONTRIBUTION PLANS |
|----------|---------------------------|

Gosford City Council Section 94A Development Contributions Plan - Gosford City Centre

| | |
|----------|------------------------------|
| 4 | COMPLYING DEVELOPMENT |
|----------|------------------------------|

Whether or not the land is land on which complying development can be carried out under each of the codes for complying development because of the provisions of clause 1.17A(1)(c) to (e), (2), (3) and (4), 1.18(1)(c3) and 1.19 of *State Environmental Planning Policy (Exempt and Complying Development Codes) 2008*?

GENERAL HOUSING CODE

Complying Development under the General Housing Code **may** be carried out on the land. This information needs to be read in conjunction with the whole of the State Environmental Planning Policy (Exempt and Complying Development Codes) 2008.

RURAL HOUSING CODE

Complying development under the Rural Housing Code **may** be carried out on the land. This information needs to be read in conjunction with the whole of the State Environmental Planning Policy (Exempt and Complying Development Codes) 2008.

LOW RISE HOUSING DIVERSITY CODE

Complying Development under the Low Rise Housing Diversity Code **may** be carried out on the land. This information needs to be read in conjunction with the whole of the State Environmental Planning Policy (Exempt and Complying Development Codes) 2008.

GREENFIELD HOUSING CODE

Greenfield Housing Code **is not** applicable to this land.

HOUSING ALTERATIONS CODE

Complying development under the Housing Alterations Code **may** be carried out on the land. This information needs to be read in conjunction with the whole of the State Environmental Planning Policy (Exempt and Complying Development Codes) 2008.

GENERAL DEVELOPMENT CODE

Complying development under the General Development Code **may** be carried out on the land. This information needs to be read in conjunction with the whole of the State Environmental Planning Policy (Exempt and Complying Development Codes) 2008.

COMMERCIAL AND INDUSTRIAL ALTERATIONS CODE

Complying development under the Commercial and Industrial Alterations Code **may** be carried out on the land. This information needs to be read in conjunction with the whole of the State Environmental Planning Policy (Exempt and Complying Development Codes) 2008.

COMMERCIAL AND INDUSTRIAL (NEW BUILDINGS AND ADDITIONS) CODE

Complying development under the Commercial and Industrial (New Buildings and Additions) Code **may** be carried out on the land. This information needs to be read in conjunction with the whole of the State Environmental Planning Policy (Exempt and Complying Development Codes) 2008.

CONTAINER RECYCLING FACILITIES CODE

Complying Development under the Container Recycling Facilities Code **may** be carried out on the land. This information needs to be read in conjunction with the whole of the State Environmental Planning Policy (Exempt and Complying Development Codes) 2008.

SUBDIVISIONS CODE

Complying Development under the General Housing Code **may** be carried out on the land. This information needs to be read in conjunction with the whole of the State Environmental Planning Policy (Exempt and Complying Development Codes) 2008.

DEMOLITION CODE

Complying development under the Demolition code **may** be carried out on the land. This information needs to be read in conjunction with the whole of the State Environmental Planning Policy (Exempt and Complying Development Codes) 2008.

FIRE SAFETY CODE

Complying development under the Fire Safety Code **may** be carried out on the land. This information needs to be read in conjunction with the whole of the State Environmental Planning Policy (Exempt and Complying Development Codes) 2008.

| | |
|----------|---------------------------|
| 5 | EXEMPT DEVELOPMENT |
|----------|---------------------------|

Whether or not the land is land on which exempt development may be carried out under each of the exempt development codes under *State Environmental Planning Policy (Exempt and Complying Development Codes) 2008* because of that Policy, clause 1.16(1) (b1)–(d) or 1.16A.

GENERAL EXEMPT DEVELOPMENT CODE

Exempt development under the General Exempt Development Code applies to this land. This information needs to be read in conjunction with the whole of the State Environmental Planning Policy (Exempt and Complying Development Codes) 2008.

ADVERTISING AND SIGNAGE EXEMPT DEVELOPMENT CODE

Exempt development under the Advertising and Signage Exempt Development Code applies to this land. This information needs to be read in conjunction with the whole of the State Environmental Planning Policy (Exempt and Complying Development Codes) 2008.

TEMPORARY USES AND STRUCTURES EXEMPT DEVELOPMENT CODE

Exempt development under the Temporary Uses and Structures Exempt Development Code applies to this land. This information needs to be read in conjunction with the whole of the State Environmental Planning Policy (Exempt and Complying Development Codes) 2008.

| | |
|----------|--|
| 6 | AFFECTED BUILDING NOTICES AND BUILDING PRODUCT RECTIFICATION ORDERS (<i>BUILDING PRODUCT SAFETY ACT 2017</i>) |
|----------|--|

1(a) Is there any affected building notice of which the council is aware that is in force in respect of the land?

No

1(b) Is there any building product rectification order of which the council is aware that is in force in respect of the land and has not been fully complied with?

No

1(c) Is there any notice of intention to make a building product rectification order of which the council is aware has been given in respect of the land and is outstanding?

No

In this section—

affected building notice has the same meaning as in the *Building Products (Safety) Act 2017*, Part 4.

building product rectification order has the same meaning as in the *Building Products (Safety) Act 2017*

| | |
|----------|--------------------------------------|
| 7 | LAND RESERVED FOR ACQUISITION |
|----------|--------------------------------------|

The following environmental planning instruments and proposed environmental planning instruments make provisions for the acquisition of the land by a public authority as referred to in Section 3.15 of the Act:

Nil

| | |
|----------|---|
| 8 | ROAD WIDENING AND ROAD ALIGNMENT |
|----------|---|

(a) DIVISION 2 OF PART 3 OF THE *ROADS ACT 1993*

The land is not affected by road realignment or road widening under the above.

(b) ENVIRONMENTAL PLANNING INSTRUMENT

The land is not affected by road widening or road re-alignment under the above.

(c) COUNCIL RESOLUTIONS

The land is not affected by road widening or road re-alignment under the above.

| | |
|----------|---|
| 9 | FLOOD RELATED DEVELOPMENT CONTROLS |
|----------|---|

(1) The land or part of the land **is** within the flood planning area and **is** subject to flood related development controls.

(2) The land or part of the land **is** between the flood planning area and the probable maximum flood and **is** subject to flood related development controls.

(3) In this section—

flood planning area has the same meaning as in the Floodplain Development Manual.

Floodplain Development Manual means the Floodplain Development Manual (ISBN 0 7347 5476 0) published by the NSW Government in April 2005.

probable maximum flood has the same meaning as in the Floodplain Development Manual.

| | |
|-----------|--|
| 10 | COUNCIL AND OTHER PUBLIC AUTHORITY POLICIES ON HAZARD RISK RESTRICTIONS |
|-----------|--|

This land **is** affected by a policy adopted by the council or other public authority that restricts the development of the land because of the likelihood of risk restrictions. This land **is** affected because:

Acid sulfate class 5.

In this section—

adopted policy means a policy adopted—

- (a) by the council, or
- (b) by another public authority, if the public authority has notified the council that the policy will be included in a planning certificate issued by the council.

| | |
|-----------|-----------------------------|
| 11 | BUSH FIRE PRONE LAND |
|-----------|-----------------------------|

The information currently available to Council indicates that **some** of the land is bushfire prone land (as defined in the Act).

| | |
|-----------|---------------------------------------|
| 12 | LOOSE-FILL ASBESTOS INSULATION |
|-----------|---------------------------------------|

This land does not include any residential premises (within the meaning of Division 1A of Part 8 of the *Home Building Act 1989*) that are listed on the register that is required to be maintained under that Division. That register lists residential premises that contain or have contained loose-fill asbestos insulation.

| | |
|-----------|------------------------|
| 13 | MINE SUBSIDENCE |
|-----------|------------------------|

The land **IS NOT WITHIN** a Mine Subsidence District declared under section 20 of the *Coal Mine Subsidence Compensation Act 2017*.

| | |
|-----------|--------------------------------------|
| 14 | PAPER SUBDIVISION INFORMATION |
|-----------|--------------------------------------|

- (1) The name of any development plan adopted by a relevant authority that:
 - (a) applies to this land or
 - (b) that is proposed to be subject to a consent ballot.

Nil

- (2) The date of any subdivision order that applies to this land.

Not applicable

Words and expressions used in this clause have the same meaning as they have in Part 10 of the *Environmental Planning and Assessment Regulation 2021* and Schedule 7 of the *Environmental Planning and Assessment Act 1979*.

| | |
|-----------|----------------------------------|
| 15 | PROPERTY VEGETATION PLANS |
|-----------|----------------------------------|

Council **has not** been notified by Local Land Services – Greater Sydney that the land is subject to a property vegetation plan approved under Part 4 of the *Native Vegetation Act 2003*.

| | |
|-----------|---------------------------------------|
| 16 | BIODIVERSITY STEWARDSHIP SITES |
|-----------|---------------------------------------|

Council **has not** been notified by the Director-General of the Department of Planning and Environment that the land is a biodiversity stewardship site under a biodiversity stewardship agreement under Part 5 of the Biodiversity Conservation Act, 2016.

Note: Biodiversity stewardship agreements include biobanking agreements under the *Threatened Species Conservation Act 1995*, Part 7A that are taken to be biodiversity stewardship agreements under the *Biodiversity Conservation Act 2016*, Part 5.

| | |
|-----------|------------------------------------|
| 17 | BIODIVERSITY CERTIFIED LAND |
|-----------|------------------------------------|

The land **is not** biodiversity certified land within the meaning of Part 8 of the *Biodiversity Conservation Act, 2016*.

Note: Biodiversity certified land includes land certified under the *Threatened Species Conservation Act 1995*, Part 7AA that is taken to be certified under the *Biodiversity Conservation Act 2016*, Part 8.

| | |
|-----------|---|
| 18 | ORDERS UNDER <i>TREES (DISPUTES BETWEEN NEIGHBOURS) ACT 2006</i> |
|-----------|---|

Council **has not** been notified of an Order issued under the Trees (Disputes between Neighbours) Act 2006.

NOTE: This advice is based on information provided by the Land and Environment Court

| | |
|-----------|---|
| 19 | ANNUAL CHARGES UNDER <i>LOCAL GOVERNMENT ACT 1993</i> FOR COASTAL PROTECTION SERVICES THAT RELATE TO EXISTING COASTAL PROTECTION WORKS |
|-----------|---|

The owner (or any previous owner) of the land has not consented in writing to the land being subject to annual charges under section 496B of the *Local Government Act 1993* for coastal protection services that relate to existing coastal protection works.

In this section—

existing coastal protection works has the same meaning as in the *Local Government Act 1993*, section 553B.

Note—

Existing coastal protection works are works to reduce the impact of coastal hazards on land, such as seawalls, revetments, groynes and beach nourishment, that existed before 1 January 2011.

| | |
|-----------|------------------------------------|
| 20 | WESTERN SYDNEY AEROTROPOLIS |
|-----------|------------------------------------|

Not applicable to Central Coast Local Government Area

| | |
|-----------|---|
| 21 | DEVELOPMENT CONSENT CONDITIONS FOR SENIORS HOUSING |
|-----------|---|

Council **is not** aware of there being a current Site Compatibility Certificate (seniors housing) issued by the Director-General of the Department of Planning and Environment in respect of the land.

NOTE: This advice is based on information provided by the NSW Department of Planning and Environment.

| | |
|-----------|---|
| 22 | SITE COMPATIBILITY CERTIFICATES AND DEVELOPMENT CONSENT CONDITIONS FOR AFFORDABLE RENTAL HOUSING |
|-----------|---|

Council **is not** aware of there being a valid Site Compatibility Certificate (affordable rental housing) issued by the Director-General of the Department of Planning and Environment in respect of the land.

NOTE: This advice is based on information provided by the NSW Department of Planning and Environment.

NOTE

| |
|--|
| CONTAMINATED LAND MANAGEMENT ACT 1997 |
|--|

The following matters are prescribed by section 59 (2) of the *Contaminated Land Management Act 1997* as additional matters to be specified in a planning certificate:

- (a) The land to which the certificate relates is significantly contaminated land within the meaning of that Act - if the land (or part of the land) is significantly contaminated land at the date when the certificate is issued,

No

- (b) The land to which the certificate relates is subject to a management order within the meaning of that Act - if it is subject to such an order at the date when the certificate is issued,

No

- (c) The land to which the certificate relates is the subject of an approved voluntary management proposal within the meaning of that Act - if it is the subject of such an approved proposal at the date when the certificate is issued,

No

- (d) The land to which the certificate relates is subject to an ongoing maintenance order within the meaning of that Act - if it is subject to such an order at the date when the certificate is issued,

No

- (e) The land to which the certificate relates is the subject of a site audit statement within the meaning of that Act - if a copy of such a statement has been provided at any time to the local authority issuing the certificate.

No

**ADVICE PROVIDED PURSUANT TO S.10.7(5) OF THE ENVIRONMENTAL
PLANNING AND ASSESSMENT ACT 1979**

NOTE: SECTION 10.7(6) OF THE ACT STATES THAT A COUNCIL SHALL NOT INCUR ANY LIABILITY IN RESPECT OF ANY ADVICE PROVIDED IN GOOD FAITH PURSUANT TO SUBSECTION (5).

- 23.1** The property is subject to Environmental Planning and Assessment (Special Infrastructure Contribution - Gosford City Centre) Determination 2018 made by the Minister for Planning, pursuant to section 7.23 of the Environmental Planning and Assessment Act 1979 on 12 October 2018 (enquiries to the Department of Planning Industry and Environment).

For any enquiries regarding this Certificate, please contact Council's Customer Contact Centre on 1300 463 954.

Karen Hansen
Signed on Behalf of Central Coast Council

LAND USE TABLE

Zone B6 Enterprise Corridor

State Environmental Planning Policy (Precincts—Regional) 2021 Gosford City Centre

1 Objectives of zone

- To promote businesses along main roads and to encourage a mix of compatible uses.
- To provide a range of employment uses (including business, office, retail and light industrial uses).
- To maintain the economic strength of centres by limiting retailing activity.
- To provide for residential uses, but only as part of a mixed use development.

2 Permitted without consent

Nil

3 Permitted with consent

Business premises; Community facilities; Garden centres; Hardware and building supplies; Hotel or motel accommodation; Landscaping material supplies; Light industries; Multi dwelling housing; Passenger transport facilities; Plant nurseries; Recreation facilities (indoor); Residential flat buildings; Roads; Shop top housing; Warehouse or distribution centres; Any other development not specified in item 2 or 4

4 Prohibited

Agriculture; Air transport facilities; Amusement centres; Animal boarding or training establishments; Biosolids treatment facilities; Boat building and repair facilities; Boat sheds; Camping grounds; Caravan parks; Cemeteries; Centre-based child care facilities; Charter and tourism boating facilities; Correctional centres; Crematoria; Depots; Eco-tourist facilities; Electricity generating works; Environmental facilities; Environmental protection works; Exhibition homes; Exhibition villages; Extractive industries; Farm buildings; Flood mitigation works; Forestry; Freight transport facilities; Function centres; Heavy industrial storage establishments; Highway service centres; Home-based child care; Home businesses; Home occupations (sex services); Industries; Information and education facilities; Marinas; Mooring pens; Moorings; Mortuaries; Open cut mining; Recreation areas; Recreation facilities (major); Recreation facilities (outdoor); Registered clubs; Research stations; Residential accommodation; Resource recovery facilities; Restricted premises; Rural industries; Rural supplies; Service stations; Sewage treatment plants; Storage premises; Tourist and visitor accommodation; Transport depots; Vehicle body repair workshops; Vehicle repair stations; Veterinary hospitals; Waste disposal facilities; Water recreation structures; Water recycling facilities; Water supply systems



Dye & Durham Property Pty Ltd - Melbourne
PO Box 447
SOUTHBANK VIC 3006

SECTION 10.7(2) AND (5) PLANNING CERTIFICATE

Under Section 10.7 of the Environmental Planning and Assessment Act, 1979

| | |
|------------------------------|---|
| Fee paid: | \$156.00 |
| Receipt No: | 17833060 |
| Receipt Date: | 8 November 2022 |
| Property Address: | 36 Young Street, WEST GOSFORD NSW 2250 |
| Property Description: | Lot 12 DP 1100110 |
| Property Owner | Bhaajayu Pty Ltd and Verugu Pty Ltd and South Pty Ltd and Galbrock Pty Ltd |
| Certificate No: | 55158 |
| Reference No: | 76944198:115270495:226526 |
| Date of issue: | 08-Nov-2022 |

The information contained within this certificate relates to the land.



Wyong Office: 2 Hely St / PO Box 20 Wyong NSW 2259

P 02 4306 7900 | E ask@centralcoast.nsw.gov.au | W centralcoast.nsw.gov.au | ABN 73 149 644 003

**ADVICE PROVIDED PURSUANT TO S.10.7(2) OF THE ENVIRONMENTAL
PLANNING AND ASSESSMENT ACT 1979**

| | |
|----------|---|
| 1 | NAMES OF RELEVANT PLANNING INSTRUMENTS AND DEVELOPMENT CONTROL PLANS |
|----------|---|

**(1) Environmental Planning Instruments and Development Control Plans which
apply to the land**

State Environmental Planning Policy (Precincts Regional) 2021 Pt 5.8 Gosford City Centre

Gosford City Centre Development Control Plan 2018

**ZONE B6 ENTERPRISE CORRIDOR UNDER STATE ENVIRONMENTAL PLANNING
POLICY (GOSFORD CITY CENTRE) 2018**

State Environment Planning Policy (Exempt and Complying Development Codes) 2008

State Environment Planning Policy (Building Sustainability Index: BASIX) 2004

State Environment Planning Policy No. 65 – Design Quality of Residential Apartment
Development

State Environment Planning Policy (Primary Production) 2021

State Environment Planning Policy (Transport and Infrastructure) 2021

State Environment Planning Policy (Biodiversity and Conservation) 2021

State Environment Planning Policy (Resilience and Hazards) 2021

State Environment Planning Policy (Industry and Employment) 2021

State Environment Planning Policy (Resources and Energy) 2021

State Environment Planning Policy (Planning Systems) 2021

State Environmental Planning Policy (Housing) 2021

**(2) Proposed Environmental Planning Instruments and Draft Development Control
Plans which will apply to the land and is or has been the subject of community
consultation or public exhibition**

Proposed State Environmental Planning Policy (Transport and Infrastructure) 2021

Proposed State Environment Planning Policy (Building Sustainability Index: BASIX) 2004

Standard Instrument (Local Environmental Plans) Order 2006

| | |
|----------|--|
| 2 | ZONING AND LAND USE UNDER RELEVANT PLANNING INSTRUMENTS |
|----------|--|

(a) Identity of the Zone

Lot 12 DP 1100110

B6 ENTERPRISE CORRIDOR SEPP

(b) For each of the environmental planning instruments referred to in clause 1, please refer to the attached land use table to determine (i), (ii) and (iii) listed below:

(i) development that may be carried out within the zone without the need for development consent,

(ii) development which may not be carried out within the zone except with development consent and

(iii) development which is prohibited within the zone.

(c) Whether additional permitted uses apply to the land

Additional Permitted Uses **do not** apply to this land.

(d) Development Standards applying to the land that fix minimum land dimensions for the erection of a dwelling-house

There are no development standards applying to the land that fix minimum land dimensions for the erection of a dwelling-house on the land. However there are minimum lot sizes applying to the subdivision of land, and in some zones the entitlement to erect a dwelling-house, or carry out other types of residential development, is linked to that minimum lot size.

(e) Land includes or comprises critical habitat

No

(f) Land is in a conservation area

No

(g) Item of environmental heritage is situated on the land

None

| | |
|----------|---------------------------|
| 3 | CONTRIBUTION PLANS |
|----------|---------------------------|

Gosford City Council Section 94A Development Contributions Plan - Gosford City Centre

| | |
|----------|------------------------------|
| 4 | COMPLYING DEVELOPMENT |
|----------|------------------------------|

Whether or not the land is land on which complying development can be carried out under each of the codes for complying development because of the provisions of clause 1.17A(1)(c) to (e), (2), (3) and (4), 1.18(1)(c3) and 1.19 of *State Environmental Planning Policy (Exempt and Complying Development Codes) 2008*?

GENERAL HOUSING CODE

Complying Development under the General Housing Code **may** be carried out on the land. This information needs to be read in conjunction with the whole of the State Environmental Planning Policy (Exempt and Complying Development Codes) 2008.

RURAL HOUSING CODE

Complying development under the Rural Housing Code **may** be carried out on the land. This information needs to be read in conjunction with the whole of the State Environmental Planning Policy (Exempt and Complying Development Codes) 2008.

LOW RISE HOUSING DIVERSITY CODE

Complying Development under the Low Rise Housing Diversity Code **may** be carried out on the land. This information needs to be read in conjunction with the whole of the State Environmental Planning Policy (Exempt and Complying Development Codes) 2008.

GREENFIELD HOUSING CODE

Greenfield Housing Code **is not** applicable to this land.

HOUSING ALTERATIONS CODE

Complying development under the Housing Alterations Code **may** be carried out on the land. This information needs to be read in conjunction with the whole of the State Environmental Planning Policy (Exempt and Complying Development Codes) 2008.

GENERAL DEVELOPMENT CODE

Complying development under the General Development Code **may** be carried out on the land. This information needs to be read in conjunction with the whole of the State Environmental Planning Policy (Exempt and Complying Development Codes) 2008.

COMMERCIAL AND INDUSTRIAL ALTERATIONS CODE

Complying development under the Commercial and Industrial Alterations Code **may** be carried out on the land. This information needs to be read in conjunction with the whole of the State Environmental Planning Policy (Exempt and Complying Development Codes) 2008.

COMMERCIAL AND INDUSTRIAL (NEW BUILDINGS AND ADDITIONS) CODE

Complying development under the Commercial and Industrial (New Buildings and Additions) Code **may** be carried out on the land. This information needs to be read in conjunction with the whole of the State Environmental Planning Policy (Exempt and Complying Development Codes) 2008.

CONTAINER RECYCLING FACILITIES CODE

Complying Development under the Container Recycling Facilities Code **may** be carried out on the land. This information needs to be read in conjunction with the whole of the State Environmental Planning Policy (Exempt and Complying Development Codes) 2008.

SUBDIVISIONS CODE

Complying Development under the General Housing Code **may** be carried out on the land. This information needs to be read in conjunction with the whole of the State Environmental Planning Policy (Exempt and Complying Development Codes) 2008.

DEMOLITION CODE

Complying development under the Demolition code **may** be carried out on the land. This information needs to be read in conjunction with the whole of the State Environmental Planning Policy (Exempt and Complying Development Codes) 2008.

FIRE SAFETY CODE

Complying development under the Fire Safety Code **may** be carried out on the land. This information needs to be read in conjunction with the whole of the State Environmental Planning Policy (Exempt and Complying Development Codes) 2008.

| | |
|----------|---------------------------|
| 5 | EXEMPT DEVELOPMENT |
|----------|---------------------------|

Whether or not the land is land on which exempt development may be carried out under each of the exempt development codes under *State Environmental Planning Policy (Exempt and Complying Development Codes) 2008* because of that Policy, clause 1.16(1) (b1)–(d) or 1.16A.

GENERAL EXEMPT DEVELOPMENT CODE

Exempt development under the General Exempt Development Code applies to this land. This information needs to be read in conjunction with the whole of the State Environmental Planning Policy (Exempt and Complying Development Codes) 2008.

ADVERTISING AND SIGNAGE EXEMPT DEVELOPMENT CODE

Exempt development under the Advertising and Signage Exempt Development Code applies to this land. This information needs to be read in conjunction with the whole of the State Environmental Planning Policy (Exempt and Complying Development Codes) 2008.

TEMPORARY USES AND STRUCTURES EXEMPT DEVELOPMENT CODE

Exempt development under the Temporary Uses and Structures Exempt Development Code applies to this land. This information needs to be read in conjunction with the whole of the State Environmental Planning Policy (Exempt and Complying Development Codes) 2008.

| | |
|----------|--|
| 6 | AFFECTED BUILDING NOTICES AND BUILDING PRODUCT RECTIFICATION ORDERS (<i>BUILDING PRODUCT SAFETY ACT 2017</i>) |
|----------|--|

1(a) Is there any affected building notice of which the council is aware that is in force in respect of the land?

No

1(b) Is there any building product rectification order of which the council is aware that is in force in respect of the land and has not been fully complied with?

No

1(c) Is there any notice of intention to make a building product rectification order of which the council is aware has been given in respect of the land and is outstanding?

No

In this section—

affected building notice has the same meaning as in the *Building Products (Safety) Act 2017*, Part 4.

building product rectification order has the same meaning as in the *Building Products (Safety) Act 2017*

| | |
|----------|--------------------------------------|
| 7 | LAND RESERVED FOR ACQUISITION |
|----------|--------------------------------------|

The following environmental planning instruments and proposed environmental planning instruments make provisions for the acquisition of the land by a public authority as referred to in Section 3.15 of the Act:

Nil

| | |
|----------|---|
| 8 | ROAD WIDENING AND ROAD ALIGNMENT |
|----------|---|

(a) DIVISION 2 OF PART 3 OF THE *ROADS ACT 1993*

The land is not affected by road realignment or road widening under the above.

(b) ENVIRONMENTAL PLANNING INSTRUMENT

The land is not affected by road widening or road re-alignment under the above.

(c) COUNCIL RESOLUTIONS

The land is not affected by road widening or road re-alignment under the above.

| | |
|----------|---|
| 9 | FLOOD RELATED DEVELOPMENT CONTROLS |
|----------|---|

(1) The land or part of the land **is** within the flood planning area and **is** subject to flood related development controls.

(2) The land or part of the land **is** between the flood planning area and the probable maximum flood and **is** subject to flood related development controls.

(3) In this section—

flood planning area has the same meaning as in the Floodplain Development Manual.

Floodplain Development Manual means the Floodplain Development Manual (ISBN 0 7347 5476 0) published by the NSW Government in April 2005.

probable maximum flood has the same meaning as in the Floodplain Development Manual.

| | |
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| 10 | COUNCIL AND OTHER PUBLIC AUTHORITY POLICIES ON HAZARD RISK RESTRICTIONS |
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This land **is** affected by a policy adopted by the council or other public authority that restricts the development of the land because of the likelihood of risk restrictions. This land **is** affected because:

Acid sulfate class 5.

In this section—

adopted policy means a policy adopted—

- (a) by the council, or
- (b) by another public authority, if the public authority has notified the council that the policy will be included in a planning certificate issued by the council.

| | |
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| 11 | BUSH FIRE PRONE LAND |
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The information currently available to Council indicates that **all** of the land is bushfire prone land (as defined in the Act).

The information currently available to Council indicates that **some** of the land is bushfire prone land (as defined in the Act).

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| 12 | LOOSE-FILL ASBESTOS INSULATION |
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This land does not include any residential premises (within the meaning of Division 1A of Part 8 of the *Home Building Act 1989*) that are listed on the register that is required to be maintained under that Division. That register lists residential premises that contain or have contained loose-fill asbestos insulation.

| | |
|-----------|------------------------|
| 13 | MINE SUBSIDENCE |
|-----------|------------------------|

The land **IS NOT WITHIN** a Mine Subsidence District declared under section 20 of the *Coal Mine Subsidence Compensation Act 2017*.

| | |
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| 14 | PAPER SUBDIVISION INFORMATION |
|-----------|--------------------------------------|

- (1) The name of any development plan adopted by a relevant authority that:
 - (a) applies to this land or
 - (b) that is proposed to be subject to a consent ballot.

Nil

- (2) The date of any subdivision order that applies to this land.

Not applicable

Words and expressions used in this clause have the same meaning as they have in Part 10 of the *Environmental Planning and Assessment Regulation 2021* and Schedule 7 of the *Environmental Planning and Assessment Act 1979*.

| | |
|-----------|----------------------------------|
| 15 | PROPERTY VEGETATION PLANS |
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Council **has not** been notified by Local Land Services – Greater Sydney that the land is subject to a property vegetation plan approved under Part 4 of the Native Vegetation Act 2003.

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| 16 | BIODIVERSITY STEWARDSHIP SITES |
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Council **has not** been notified by the Director-General of the Department of Planning and Environment that the land is a biodiversity stewardship site under a biodiversity stewardship agreement under Part 5 of the Biodiversity Conservation Act, 2016.

Note: Biodiversity stewardship agreements include biobanking agreements under the *Threatened Species Conservation Act 1995*, Part 7A that are taken to be biodiversity stewardship agreements under the *Biodiversity Conservation Act 2016*, Part 5.

| | |
|-----------|------------------------------------|
| 17 | BIODIVERSITY CERTIFIED LAND |
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The land **is not** biodiversity certified land within the meaning of Part 8 of the *Biodiversity Conservation Act, 2016*.

Note: Biodiversity certified land includes land certified under the *Threatened Species Conservation Act 1995*, Part 7AA that is taken to be certified under the *Biodiversity Conservation Act 2016*, Part 8.

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| 18 | ORDERS UNDER TREES (DISPUTES BETWEEN NEIGHBOURS) ACT 2006 |
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Council **has not** been notified of an Order issued under the Trees (Disputes between Neighbours) Act 2006.

NOTE: This advice is based on information provided by the Land and Environment Court

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| 19 | ANNUAL CHARGES UNDER LOCAL GOVERNMENT ACT 1993 FOR COASTAL PROTECTION SERVICES THAT RELATE TO EXISTING COASTAL PROTECTION WORKS |
|-----------|--|

The owner (or any previous owner) of the land has not consented in writing to the land being subject to annual charges under section 496B of the *Local Government Act 1993* for coastal protection services that relate to existing coastal protection works.

In this section—

existing coastal protection works has the same meaning as in the *Local Government Act 1993*, section 553B.

Note—

Existing coastal protection works are works to reduce the impact of coastal hazards on land, such as seawalls, revetments, groynes and beach nourishment, that existed before 1 January 2011.

| | |
|-----------|------------------------------------|
| 20 | WESTERN SYDNEY AEROTROPOLIS |
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Not applicable to Central Coast Local Government Area

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| 21 | DEVELOPMENT CONSENT CONDITIONS FOR SENIORS HOUSING |
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Council **is not** aware of there being a current Site Compatibility Certificate (seniors housing) issued by the Director-General of the Department of Planning and Environment in respect of the land.

NOTE: This advice is based on information provided by the NSW Department of Planning and Environment.

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| 22 | SITE COMPATIBILITY CERTIFICATES AND DEVELOPMENT CONSENT CONDITIONS FOR AFFORDABLE RENTAL HOUSING |
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Council **is not** aware of there being a valid Site Compatibility Certificate (affordable rental housing) issued by the Director-General of the Department of Planning and Environment in respect of the land.

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NOTE

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| CONTAMINATED LAND MANAGEMENT ACT 1997 |
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The following matters are prescribed by section 59 (2) of the *Contaminated Land Management Act 1997* as additional matters to be specified in a planning certificate:

- (a) The land to which the certificate relates is significantly contaminated land within the meaning of that Act - if the land (or part of the land) is significantly contaminated land at the date when the certificate is issued,

No

- (b) The land to which the certificate relates is subject to a management order within the meaning of that Act - if it is subject to such an order at the date when the certificate is issued,

No

- (c) The land to which the certificate relates is the subject of an approved voluntary management proposal within the meaning of that Act - if it is the subject of such an approved proposal at the date when the certificate is issued,

No

- (d) The land to which the certificate relates is subject to an ongoing maintenance order within the meaning of that Act - if it is subject to such an order at the date when the certificate is issued,

No

- (e) The land to which the certificate relates is the subject of a site audit statement within the meaning of that Act - if a copy of such a statement has been provided at any time to the local authority issuing the certificate.

No

**ADVICE PROVIDED PURSUANT TO S.10.7(5) OF THE ENVIRONMENTAL
PLANNING AND ASSESSMENT ACT 1979**

NOTE: SECTION 10.7(6) OF THE ACT STATES THAT A COUNCIL SHALL NOT INCUR ANY LIABILITY IN RESPECT OF ANY ADVICE PROVIDED IN GOOD FAITH PURSUANT TO SUBSECTION (5).

- 23.1** The property is subject to Environmental Planning and Assessment (Special Infrastructure Contribution - Gosford City Centre) Determination 2018 made by the Minister for Planning, pursuant to section 7.23 of the Environmental Planning and Assessment Act 1979 on 12 October 2018 (enquiries to the Department of Planning Industry and Environment).

For any enquiries regarding this Certificate, please contact Council's Customer Contact Centre on 1300 463 954.

Karen Hansen
Signed on Behalf of Central Coast Council

LAND USE TABLE

Zone B6 Enterprise Corridor

State Environmental Planning Policy (Precincts—Regional) 2021 Gosford City Centre

1 Objectives of zone

- To promote businesses along main roads and to encourage a mix of compatible uses.
- To provide a range of employment uses (including business, office, retail and light industrial uses).
- To maintain the economic strength of centres by limiting retailing activity.
- To provide for residential uses, but only as part of a mixed use development.

2 Permitted without consent

Nil

3 Permitted with consent

Business premises; Community facilities; Garden centres; Hardware and building supplies; Hotel or motel accommodation; Landscaping material supplies; Light industries; Multi dwelling housing; Passenger transport facilities; Plant nurseries; Recreation facilities (indoor); Residential flat buildings; Roads; Shop top housing; Warehouse or distribution centres; Any other development not specified in item 2 or 4

4 Prohibited

Agriculture; Air transport facilities; Amusement centres; Animal boarding or training establishments; Biosolids treatment facilities; Boat building and repair facilities; Boat sheds; Camping grounds; Caravan parks; Cemeteries; Centre-based child care facilities; Charter and tourism boating facilities; Correctional centres; Crematoria; Depots; Eco-tourist facilities; Electricity generating works; Environmental facilities; Environmental protection works; Exhibition homes; Exhibition villages; Extractive industries; Farm buildings; Flood mitigation works; Forestry; Freight transport facilities; Function centres; Heavy industrial storage establishments; Highway service centres; Home-based child care; Home businesses; Home occupations (sex services); Industries; Information and education facilities; Marinas; Mooring pens; Moorings; Mortuaries; Open cut mining; Recreation areas; Recreation facilities (major); Recreation facilities (outdoor); Registered clubs; Research stations; Residential accommodation; Resource recovery facilities; Restricted premises; Rural industries; Rural supplies; Service stations; Sewage treatment plants; Storage premises; Tourist and visitor accommodation; Transport depots; Vehicle body repair workshops; Vehicle repair stations; Veterinary hospitals; Waste disposal facilities; Water recreation structures; Water recycling facilities; Water supply systems



Dye & Durham Property Pty Ltd - Melbourne
PO Box 447
SOUTHBANK VIC 3006

SECTION 10.7(2) AND (5) PLANNING CERTIFICATE

Under Section 10.7 of the Environmental Planning and Assessment Act, 1979

| | |
|------------------------------|---|
| Fee paid: | \$156.00 |
| Receipt No: | 17832517 |
| Receipt Date: | 8 November 2022 |
| Property Address: | 36 Young Street, WEST GOSFORD NSW 2250 |
| Property Description: | Lot 13 DP 1100206 |
| Property Owner | Bhaajayu Pty Ltd and Verugu Pty Ltd and South Pty Ltd and Galbrock Pty Ltd |
| Certificate No: | 55166 |
| Reference No: | 76944001:115270230:226523 |
| Date of issue: | 08-Nov-2022 |

The information contained within this certificate relates to the land.



Wyong Office: 2 Hely St / PO Box 20 Wyong NSW 2259

P 02 4306 7900 | E ask@centralcoast.nsw.gov.au | W centralcoast.nsw.gov.au | ABN 73 149 644 003

**ADVICE PROVIDED PURSUANT TO S.10.7(2) OF THE ENVIRONMENTAL
PLANNING AND ASSESSMENT ACT 1979**

| | |
|----------|---|
| 1 | NAMES OF RELEVANT PLANNING INSTRUMENTS AND DEVELOPMENT CONTROL PLANS |
|----------|---|

**(1) Environmental Planning Instruments and Development Control Plans which
apply to the land**

State Environmental Planning Policy (Precincts Regional) 2021 Pt 5.8 Gosford City Centre

Gosford City Centre Development Control Plan 2018

**ZONE B6 ENTERPRISE CORRIDOR UNDER STATE ENVIRONMENTAL PLANNING
POLICY (GOSFORD CITY CENTRE) 2018**

State Environment Planning Policy (Exempt and Complying Development Codes) 2008

State Environment Planning Policy (Building Sustainability Index: BASIX) 2004

State Environment Planning Policy No. 65 – Design Quality of Residential Apartment
Development

State Environment Planning Policy (Primary Production) 2021

State Environment Planning Policy (Transport and Infrastructure) 2021

State Environment Planning Policy (Biodiversity and Conservation) 2021

State Environment Planning Policy (Resilience and Hazards) 2021

State Environment Planning Policy (Industry and Employment) 2021

State Environment Planning Policy (Resources and Energy) 2021

State Environment Planning Policy (Planning Systems) 2021

State Environmental Planning Policy (Housing) 2021

**(2) Proposed Environmental Planning Instruments and Draft Development Control
Plans which will apply to the land and is or has been the subject of community
consultation or public exhibition**

Proposed State Environmental Planning Policy (Transport and Infrastructure) 2021

Proposed State Environment Planning Policy (Building Sustainability Index: BASIX) 2004

Standard Instrument (Local Environmental Plans) Order 2006

| | |
|----------|--|
| 2 | ZONING AND LAND USE UNDER RELEVANT PLANNING INSTRUMENTS |
|----------|--|

(a) Identity of the Zone

Lot 13 DP 1100206

B6 ENTERPRISE CORRIDOR SEPP

(b) For each of the environmental planning instruments referred to in clause 1, please refer to the attached land use table to determine (i), (ii) and (iii) listed below:

- (i) development that may be carried out within the zone without the need for development consent,
- (ii) development which may not be carried out within the zone except with development consent and
- (iii) development which is prohibited within the zone.

(c) Whether additional permitted uses apply to the land

Additional Permitted Uses **do not** apply to this land.

(d) Development Standards applying to the land that fix minimum land dimensions for the erection of a dwelling-house

There are no development standards applying to the land that fix minimum land dimensions for the erection of a dwelling-house on the land. However there are minimum lot sizes applying to the subdivision of land, and in some zones the entitlement to erect a dwelling-house, or carry out other types of residential development, is linked to that minimum lot size.

(e) Land includes or comprises critical habitat

No

(f) Land is in a conservation area

No

(g) Item of environmental heritage is situated on the land

None

| | |
|----------|---------------------------|
| 3 | CONTRIBUTION PLANS |
|----------|---------------------------|

Gosford City Council Section 94A Development Contributions Plan - Gosford City Centre

| | |
|----------|------------------------------|
| 4 | COMPLYING DEVELOPMENT |
|----------|------------------------------|

Whether or not the land is land on which complying development can be carried out under each of the codes for complying development because of the provisions of clause 1.17A(1)(c) to (e), (2), (3) and (4), 1.18(1)(c3) and 1.19 of *State Environmental Planning Policy (Exempt and Complying Development Codes) 2008*?

GENERAL HOUSING CODE

Complying Development under the General Housing Code **may** be carried out on the land. This information needs to be read in conjunction with the whole of the State Environmental Planning Policy (Exempt and Complying Development Codes) 2008.

RURAL HOUSING CODE

Complying development under the Rural Housing Code **may** be carried out on the land. This information needs to be read in conjunction with the whole of the State Environmental Planning Policy (Exempt and Complying Development Codes) 2008.

LOW RISE HOUSING DIVERSITY CODE

Complying Development under the Low Rise Housing Diversity Code **may** be carried out on the land. This information needs to be read in conjunction with the whole of the State Environmental Planning Policy (Exempt and Complying Development Codes) 2008.

GREENFIELD HOUSING CODE

Greenfield Housing Code **is not** applicable to this land.

HOUSING ALTERATIONS CODE

Complying development under the Housing Alterations Code **may** be carried out on the land. This information needs to be read in conjunction with the whole of the State Environmental Planning Policy (Exempt and Complying Development Codes) 2008.

GENERAL DEVELOPMENT CODE

Complying development under the General Development Code **may** be carried out on the land. This information needs to be read in conjunction with the whole of the State Environmental Planning Policy (Exempt and Complying Development Codes) 2008.

COMMERCIAL AND INDUSTRIAL ALTERATIONS CODE

Complying development under the Commercial and Industrial Alterations Code **may** be carried out on the land. This information needs to be read in conjunction with the whole of the State Environmental Planning Policy (Exempt and Complying Development Codes) 2008.

COMMERCIAL AND INDUSTRIAL (NEW BUILDINGS AND ADDITIONS) CODE

Complying development under the Commercial and Industrial (New Buildings and Additions) Code **may** be carried out on the land. This information needs to be read in conjunction with the whole of the State Environmental Planning Policy (Exempt and Complying Development Codes) 2008.

CONTAINER RECYCLING FACILITIES CODE

Complying Development under the Container Recycling Facilities Code **may** be carried out on the land. This information needs to be read in conjunction with the whole of the State Environmental Planning Policy (Exempt and Complying Development Codes) 2008.

SUBDIVISIONS CODE

Complying Development under the General Housing Code **may** be carried out on the land. This information needs to be read in conjunction with the whole of the State Environmental Planning Policy (Exempt and Complying Development Codes) 2008.

DEMOLITION CODE

Complying development under the Demolition code **may** be carried out on the land. This information needs to be read in conjunction with the whole of the State Environmental Planning Policy (Exempt and Complying Development Codes) 2008.

FIRE SAFETY CODE

Complying development under the Fire Safety Code **may** be carried out on the land. This information needs to be read in conjunction with the whole of the State Environmental Planning Policy (Exempt and Complying Development Codes) 2008.

| | |
|----------|---------------------------|
| 5 | EXEMPT DEVELOPMENT |
|----------|---------------------------|

Whether or not the land is land on which exempt development may be carried out under each of the exempt development codes under *State Environmental Planning Policy (Exempt and Complying Development Codes) 2008* because of that Policy, clause 1.16(1) (b1)–(d) or 1.16A.

GENERAL EXEMPT DEVELOPMENT CODE

Exempt development under the General Exempt Development Code applies to this land. This information needs to be read in conjunction with the whole of the State Environmental Planning Policy (Exempt and Complying Development Codes) 2008.

ADVERTISING AND SIGNAGE EXEMPT DEVELOPMENT CODE

Exempt development under the Advertising and Signage Exempt Development Code applies to this land. This information needs to be read in conjunction with the whole of the State Environmental Planning Policy (Exempt and Complying Development Codes) 2008.

TEMPORARY USES AND STRUCTURES EXEMPT DEVELOPMENT CODE

Exempt development under the Temporary Uses and Structures Exempt Development Code applies to this land. This information needs to be read in conjunction with the whole of the State Environmental Planning Policy (Exempt and Complying Development Codes) 2008.

| | |
|----------|--|
| 6 | AFFECTED BUILDING NOTICES AND BUILDING PRODUCT RECTIFICATION ORDERS (<i>BUILDING PRODUCT SAFETY ACT 2017</i>) |
|----------|--|

1(a) Is there any affected building notice of which the council is aware that is in force in respect of the land?

No

1(b) Is there any building product rectification order of which the council is aware that is in force in respect of the land and has not been fully complied with?

No

1(c) Is there any notice of intention to make a building product rectification order of which the council is aware has been given in respect of the land and is outstanding?

No

In this section—

affected building notice has the same meaning as in the *Building Products (Safety) Act 2017*, Part 4.

building product rectification order has the same meaning as in the *Building Products (Safety) Act 2017*

| | |
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| 7 | LAND RESERVED FOR ACQUISITION |
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The following environmental planning instruments and proposed environmental planning instruments make provisions for the acquisition of the land by a public authority as referred to in Section 3.15 of the Act:

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Not applicable

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Karen Hansen
Signed on Behalf of Central Coast Council

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Dye & Durham Property Pty Ltd - Melbourne
PO Box 447
SOUTHBANK VIC 3006

SECTION 10.7(2) AND (5) PLANNING CERTIFICATE

Under Section 10.7 of the Environmental Planning and Assessment Act, 1979

| | |
|------------------------------|---|
| Fee paid: | \$156.00 |
| Receipt No: | 17832724 |
| Receipt Date: | 8 November 2022 |
| Property Address: | 36 Young Street, WEST GOSFORD NSW 2250 |
| Property Description: | Lot 15 DP 1100216 |
| Property Owner | Bhaajayu Pty Ltd and Verugu Pty Ltd and South Pty Ltd and Galbrock Pty Ltd |
| Certificate No: | 55160 |
| Reference No: | 76944045:115270284:226525 |
| Date of issue: | 08-Nov-2022 |

The information contained within this certificate relates to the land.



Wyong Office: 2 Hely St / PO Box 20 Wyong NSW 2259

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**ADVICE PROVIDED PURSUANT TO S.10.7(2) OF THE ENVIRONMENTAL
PLANNING AND ASSESSMENT ACT 1979**

| | |
|----------|---|
| 1 | NAMES OF RELEVANT PLANNING INSTRUMENTS AND DEVELOPMENT CONTROL PLANS |
|----------|---|

**(1) Environmental Planning Instruments and Development Control Plans which
apply to the land**

State Environmental Planning Policy (Precincts Regional) 2021 Pt 5.8 Gosford City Centre

Gosford City Centre Development Control Plan 2018

**ZONE B6 ENTERPRISE CORRIDOR UNDER STATE ENVIRONMENTAL PLANNING
POLICY (GOSFORD CITY CENTRE) 2018**

State Environment Planning Policy (Exempt and Complying Development Codes) 2008

State Environment Planning Policy (Building Sustainability Index: BASIX) 2004

State Environment Planning Policy No. 65 – Design Quality of Residential Apartment
Development

State Environment Planning Policy (Primary Production) 2021

State Environment Planning Policy (Transport and Infrastructure) 2021

State Environment Planning Policy (Biodiversity and Conservation) 2021

State Environment Planning Policy (Resilience and Hazards) 2021

State Environment Planning Policy (Industry and Employment) 2021

State Environment Planning Policy (Resources and Energy) 2021

State Environment Planning Policy (Planning Systems) 2021

State Environmental Planning Policy (Housing) 2021

**(2) Proposed Environmental Planning Instruments and Draft Development Control
Plans which will apply to the land and is or has been the subject of community
consultation or public exhibition**

Proposed State Environmental Planning Policy (Transport and Infrastructure) 2021

Proposed State Environment Planning Policy (Building Sustainability Index: BASIX) 2004

Standard Instrument (Local Environmental Plans) Order 2006

| | |
|----------|--|
| 2 | ZONING AND LAND USE UNDER RELEVANT PLANNING INSTRUMENTS |
|----------|--|

(a) Identity of the Zone

Lot 15 DP 1100216

B6 ENTERPRISE CORRIDOR SEPP

(b) For each of the environmental planning instruments referred to in clause 1, please refer to the attached land use table to determine (i), (ii) and (iii) listed below:

- (i) development that may be carried out within the zone without the need for development consent,
- (ii) development which may not be carried out within the zone except with development consent and
- (iii) development which is prohibited within the zone.

(c) Whether additional permitted uses apply to the land

Additional Permitted Uses **do not** apply to this land.

(d) Development Standards applying to the land that fix minimum land dimensions for the erection of a dwelling-house

There are no development standards applying to the land that fix minimum land dimensions for the erection of a dwelling-house on the land. However there are minimum lot sizes applying to the subdivision of land, and in some zones the entitlement to erect a dwelling-house, or carry out other types of residential development, is linked to that minimum lot size.

(e) Land includes or comprises critical habitat

No

(f) Land is in a conservation area

No

(g) Item of environmental heritage is situated on the land

None

| | |
|----------|---------------------------|
| 3 | CONTRIBUTION PLANS |
|----------|---------------------------|

Gosford City Council Section 94A Development Contributions Plan - Gosford City Centre

| | |
|----------|------------------------------|
| 4 | COMPLYING DEVELOPMENT |
|----------|------------------------------|

Whether or not the land is land on which complying development can be carried out under each of the codes for complying development because of the provisions of clause 1.17A(1)(c) to (e), (2), (3) and (4), 1.18(1)(c3) and 1.19 of *State Environmental Planning Policy (Exempt and Complying Development Codes) 2008*?

GENERAL HOUSING CODE

Complying Development under the General Housing Code **may** be carried out on the land. This information needs to be read in conjunction with the whole of the State Environmental Planning Policy (Exempt and Complying Development Codes) 2008.

RURAL HOUSING CODE

Complying development under the Rural Housing Code **may** be carried out on the land. This information needs to be read in conjunction with the whole of the State Environmental Planning Policy (Exempt and Complying Development Codes) 2008.

LOW RISE HOUSING DIVERSITY CODE

Complying Development under the Low Rise Housing Diversity Code **may** be carried out on the land. This information needs to be read in conjunction with the whole of the State Environmental Planning Policy (Exempt and Complying Development Codes) 2008.

GREENFIELD HOUSING CODE

Greenfield Housing Code **is not** applicable to this land.

HOUSING ALTERATIONS CODE

Complying development under the Housing Alterations Code **may** be carried out on the land. This information needs to be read in conjunction with the whole of the State Environmental Planning Policy (Exempt and Complying Development Codes) 2008.

GENERAL DEVELOPMENT CODE

Complying development under the General Development Code **may** be carried out on the land. This information needs to be read in conjunction with the whole of the State Environmental Planning Policy (Exempt and Complying Development Codes) 2008.

COMMERCIAL AND INDUSTRIAL ALTERATIONS CODE

Complying development under the Commercial and Industrial Alterations Code **may** be carried out on the land. This information needs to be read in conjunction with the whole of the State Environmental Planning Policy (Exempt and Complying Development Codes) 2008.

COMMERCIAL AND INDUSTRIAL (NEW BUILDINGS AND ADDITIONS) CODE

Complying development under the Commercial and Industrial (New Buildings and Additions) Code **may** be carried out on the land. This information needs to be read in conjunction with the whole of the State Environmental Planning Policy (Exempt and Complying Development Codes) 2008.

CONTAINER RECYCLING FACILITIES CODE

Complying Development under the Container Recycling Facilities Code **may** be carried out on the land. This information needs to be read in conjunction with the whole of the State Environmental Planning Policy (Exempt and Complying Development Codes) 2008.

SUBDIVISIONS CODE

Complying Development under the General Housing Code **may** be carried out on the land. This information needs to be read in conjunction with the whole of the State Environmental Planning Policy (Exempt and Complying Development Codes) 2008.

DEMOLITION CODE

Complying development under the Demolition code **may** be carried out on the land. This information needs to be read in conjunction with the whole of the State Environmental Planning Policy (Exempt and Complying Development Codes) 2008.

FIRE SAFETY CODE

Complying development under the Fire Safety Code **may** be carried out on the land. This information needs to be read in conjunction with the whole of the State Environmental Planning Policy (Exempt and Complying Development Codes) 2008.

| | |
|----------|---------------------------|
| 5 | EXEMPT DEVELOPMENT |
|----------|---------------------------|

Whether or not the land is land on which exempt development may be carried out under each of the exempt development codes under *State Environmental Planning Policy (Exempt and Complying Development Codes) 2008* because of that Policy, clause 1.16(1) (b1)–(d) or 1.16A.

GENERAL EXEMPT DEVELOPMENT CODE

Exempt development under the General Exempt Development Code applies to this land. This information needs to be read in conjunction with the whole of the State Environmental Planning Policy (Exempt and Complying Development Codes) 2008.

ADVERTISING AND SIGNAGE EXEMPT DEVELOPMENT CODE

Exempt development under the Advertising and Signage Exempt Development Code applies to this land. This information needs to be read in conjunction with the whole of the State Environmental Planning Policy (Exempt and Complying Development Codes) 2008.

TEMPORARY USES AND STRUCTURES EXEMPT DEVELOPMENT CODE

Exempt development under the Temporary Uses and Structures Exempt Development Code applies to this land. This information needs to be read in conjunction with the whole of the State Environmental Planning Policy (Exempt and Complying Development Codes) 2008.

| | |
|----------|--|
| 6 | AFFECTED BUILDING NOTICES AND BUILDING PRODUCT RECTIFICATION ORDERS (<i>BUILDING PRODUCT SAFETY ACT 2017</i>) |
|----------|--|

1(a) Is there any affected building notice of which the council is aware that is in force in respect of the land?

No

1(b) Is there any building product rectification order of which the council is aware that is in force in respect of the land and has not been fully complied with?

No

1(c) Is there any notice of intention to make a building product rectification order of which the council is aware has been given in respect of the land and is outstanding?

No

In this section—

affected building notice has the same meaning as in the *Building Products (Safety) Act 2017*, Part 4.

building product rectification order has the same meaning as in the *Building Products (Safety) Act 2017*

| | |
|----------|--------------------------------------|
| 7 | LAND RESERVED FOR ACQUISITION |
|----------|--------------------------------------|

The following environmental planning instruments and proposed environmental planning instruments make provisions for the acquisition of the land by a public authority as referred to in Section 3.15 of the Act:

Nil

| | |
|----------|---|
| 8 | ROAD WIDENING AND ROAD ALIGNMENT |
|----------|---|

(a) DIVISION 2 OF PART 3 OF THE *ROADS ACT 1993*

The land is not affected by road realignment or road widening under the above.

(b) ENVIRONMENTAL PLANNING INSTRUMENT

The land is not affected by road widening or road re-alignment under the above.

(c) COUNCIL RESOLUTIONS

The land is not affected by road widening or road re-alignment under the above.

| | |
|----------|---|
| 9 | FLOOD RELATED DEVELOPMENT CONTROLS |
|----------|---|

(1) The land or part of the land **is** within the flood planning area and **is** subject to flood related development controls.

(2) The land or part of the land **is** between the flood planning area and the probable maximum flood and **is** subject to flood related development controls.

(3) In this section—

flood planning area has the same meaning as in the Floodplain Development Manual.

Floodplain Development Manual means the Floodplain Development Manual (ISBN 0 7347 5476 0) published by the NSW Government in April 2005.

probable maximum flood has the same meaning as in the Floodplain Development Manual.

| | |
|-----------|--|
| 10 | COUNCIL AND OTHER PUBLIC AUTHORITY POLICIES ON HAZARD RISK RESTRICTIONS |
|-----------|--|

This land **is** affected by a policy adopted by the council or other public authority that restricts the development of the land because of the likelihood of risk restrictions. This land **is** affected because:

Acid sulfate class 5.

In this section—

adopted policy means a policy adopted—

- (a) by the council, or
- (b) by another public authority, if the public authority has notified the council that the policy will be included in a planning certificate issued by the council.

| | |
|-----------|-----------------------------|
| 11 | BUSH FIRE PRONE LAND |
|-----------|-----------------------------|

The information currently available to Council indicates that **all** of the land is bushfire prone land (as defined in the Act).

The information currently available to Council indicates that **some** of the land is bushfire prone land (as defined in the Act).

| | |
|-----------|---------------------------------------|
| 12 | LOOSE-FILL ASBESTOS INSULATION |
|-----------|---------------------------------------|

This land does not include any residential premises (within the meaning of Division 1A of Part 8 of the *Home Building Act 1989*) that are listed on the register that is required to be maintained under that Division. That register lists residential premises that contain or have contained loose-fill asbestos insulation.

| | |
|-----------|------------------------|
| 13 | MINE SUBSIDENCE |
|-----------|------------------------|

The land **IS NOT WITHIN** a Mine Subsidence District declared under section 20 of the *Coal Mine Subsidence Compensation Act 2017*.

| | |
|-----------|--------------------------------------|
| 14 | PAPER SUBDIVISION INFORMATION |
|-----------|--------------------------------------|

- (1) The name of any development plan adopted by a relevant authority that:
 - (a) applies to this land or
 - (b) that is proposed to be subject to a consent ballot.

Nil

- (2) The date of any subdivision order that applies to this land.

Not applicable

Words and expressions used in this clause have the same meaning as they have in Part 10 of the *Environmental Planning and Assessment Regulation 2021* and Schedule 7 of the *Environmental Planning and Assessment Act 1979*.

| | |
|-----------|----------------------------------|
| 15 | PROPERTY VEGETATION PLANS |
|-----------|----------------------------------|

Council **has not** been notified by Local Land Services – Greater Sydney that the land is subject to a property vegetation plan approved under Part 4 of the Native Vegetation Act 2003.

| | |
|-----------|---------------------------------------|
| 16 | BIODIVERSITY STEWARDSHIP SITES |
|-----------|---------------------------------------|

Council **has not** been notified by the Director-General of the Department of Planning and Environment that the land is a biodiversity stewardship site under a biodiversity stewardship agreement under Part 5 of the Biodiversity Conservation Act, 2016.

Note: Biodiversity stewardship agreements include biobanking agreements under the *Threatened Species Conservation Act 1995*, Part 7A that are taken to be biodiversity stewardship agreements under the *Biodiversity Conservation Act 2016*, Part 5.

| | |
|-----------|------------------------------------|
| 17 | BIODIVERSITY CERTIFIED LAND |
|-----------|------------------------------------|

The land **is not** biodiversity certified land within the meaning of Part 8 of the *Biodiversity Conservation Act, 2016*.

Note: Biodiversity certified land includes land certified under the *Threatened Species Conservation Act 1995*, Part 7AA that is taken to be certified under the *Biodiversity Conservation Act 2016*, Part 8.

| | |
|-----------|--|
| 18 | ORDERS UNDER TREES (DISPUTES BETWEEN NEIGHBOURS) ACT 2006 |
|-----------|--|

Council **has not** been notified of an Order issued under the Trees (Disputes between Neighbours) Act 2006.

NOTE: This advice is based on information provided by the Land and Environment Court

| | |
|-----------|--|
| 19 | ANNUAL CHARGES UNDER LOCAL GOVERNMENT ACT 1993 FOR COASTAL PROTECTION SERVICES THAT RELATE TO EXISTING COASTAL PROTECTION WORKS |
|-----------|--|

The owner (or any previous owner) of the land has not consented in writing to the land being subject to annual charges under section 496B of the *Local Government Act 1993* for coastal protection services that relate to existing coastal protection works.

In this section—

existing coastal protection works has the same meaning as in the *Local Government Act 1993*, section 553B.

Note—

Existing coastal protection works are works to reduce the impact of coastal hazards on land, such as seawalls, revetments, groynes and beach nourishment, that existed before 1 January 2011.

| | |
|-----------|------------------------------------|
| 20 | WESTERN SYDNEY AEROTROPOLIS |
|-----------|------------------------------------|

Not applicable to Central Coast Local Government Area

| | |
|-----------|---|
| 21 | DEVELOPMENT CONSENT CONDITIONS FOR SENIORS HOUSING |
|-----------|---|

Council **is not** aware of there being a current Site Compatibility Certificate (seniors housing) issued by the Director-General of the Department of Planning and Environment in respect of the land.

NOTE: This advice is based on information provided by the NSW Department of Planning and Environment.

| | |
|-----------|---|
| 22 | SITE COMPATIBILITY CERTIFICATES AND DEVELOPMENT CONSENT CONDITIONS FOR AFFORDABLE RENTAL HOUSING |
|-----------|---|

Council **is not** aware of there being a valid Site Compatibility Certificate (affordable rental housing) issued by the Director-General of the Department of Planning and Environment in respect of the land.

NOTE: This advice is based on information provided by the NSW Department of Planning and Environment.

NOTE

CONTAMINATED LAND MANAGEMENT ACT 1997

The following matters are prescribed by section 59 (2) of the *Contaminated Land Management Act 1997* as additional matters to be specified in a planning certificate:

- (a) The land to which the certificate relates is significantly contaminated land within the meaning of that Act - if the land (or part of the land) is significantly contaminated land at the date when the certificate is issued,

No

- (b) The land to which the certificate relates is subject to a management order within the meaning of that Act - if it is subject to such an order at the date when the certificate is issued,

No

- (c) The land to which the certificate relates is the subject of an approved voluntary management proposal within the meaning of that Act - if it is the subject of such an approved proposal at the date when the certificate is issued,

No

- (d) The land to which the certificate relates is subject to an ongoing maintenance order within the meaning of that Act - if it is subject to such an order at the date when the certificate is issued,

No

- (e) The land to which the certificate relates is the subject of a site audit statement within the meaning of that Act - if a copy of such a statement has been provided at any time to the local authority issuing the certificate.

No

**ADVICE PROVIDED PURSUANT TO S.10.7(5) OF THE ENVIRONMENTAL
PLANNING AND ASSESSMENT ACT 1979**

NOTE: SECTION 10.7(6) OF THE ACT STATES THAT A COUNCIL SHALL NOT INCUR ANY LIABILITY IN RESPECT OF ANY ADVICE PROVIDED IN GOOD FAITH PURSUANT TO SUBSECTION (5).

- 23.1** The property is subject to Environmental Planning and Assessment (Special Infrastructure Contribution - Gosford City Centre) Determination 2018 made by the Minister for Planning, pursuant to section 7.23 of the Environmental Planning and Assessment Act 1979 on 12 October 2018 (enquiries to the Department of Planning Industry and Environment).

For any enquiries regarding this Certificate, please contact Council's Customer Contact Centre on 1300 463 954.

Karen Hansen
Signed on Behalf of Central Coast Council

LAND USE TABLE

Zone B6 Enterprise Corridor

State Environmental Planning Policy (Precincts—Regional) 2021 Gosford City Centre

1 Objectives of zone

- To promote businesses along main roads and to encourage a mix of compatible uses.
- To provide a range of employment uses (including business, office, retail and light industrial uses).
- To maintain the economic strength of centres by limiting retailing activity.
- To provide for residential uses, but only as part of a mixed use development.

2 Permitted without consent

Nil

3 Permitted with consent

Business premises; Community facilities; Garden centres; Hardware and building supplies; Hotel or motel accommodation; Landscaping material supplies; Light industries; Multi dwelling housing; Passenger transport facilities; Plant nurseries; Recreation facilities (indoor); Residential flat buildings; Roads; Shop top housing; Warehouse or distribution centres; Any other development not specified in item 2 or 4

4 Prohibited

Agriculture; Air transport facilities; Amusement centres; Animal boarding or training establishments; Biosolids treatment facilities; Boat building and repair facilities; Boat sheds; Camping grounds; Caravan parks; Cemeteries; Centre-based child care facilities; Charter and tourism boating facilities; Correctional centres; Crematoria; Depots; Eco-tourist facilities; Electricity generating works; Environmental facilities; Environmental protection works; Exhibition homes; Exhibition villages; Extractive industries; Farm buildings; Flood mitigation works; Forestry; Freight transport facilities; Function centres; Heavy industrial storage establishments; Highway service centres; Home-based child care; Home businesses; Home occupations (sex services); Industries; Information and education facilities; Marinas; Mooring pens; Moorings; Mortuaries; Open cut mining; Recreation areas; Recreation facilities (major); Recreation facilities (outdoor); Registered clubs; Research stations; Residential accommodation; Resource recovery facilities; Restricted premises; Rural industries; Rural supplies; Service stations; Sewage treatment plants; Storage premises; Tourist and visitor accommodation; Transport depots; Vehicle body repair workshops; Vehicle repair stations; Veterinary hospitals; Waste disposal facilities; Water recreation structures; Water recycling facilities; Water supply systems



Dye & Durham Property Pty Ltd - Melbourne
PO Box 447
SOUTHBANK VIC 3006

SECTION 10.7(2) AND (5) PLANNING CERTIFICATE

Under Section 10.7 of the Environmental Planning and Assessment Act, 1979

| | |
|------------------------------|---|
| Fee paid: | \$156.00 |
| Receipt No: | 17832451 |
| Receipt Date: | 8 November 2022 |
| Property Address: | 36 Young Street, WEST GOSFORD NSW 2250 |
| Property Description: | Lot 11 Sec 82 DP 758466, Lot 1 DP 651249, Lot 16 DP 1079150, Lot 13 DP 1100206, Lot 14 DP 1100206, Lot 15 DP 1100216, Lot 12 DP 1100110 |
| Property Owner | Bhaajayu Pty Ltd and Verugu Pty Ltd and South Pty Ltd and Galbrock Pty Ltd |
| Certificate No: | 55177 |
| Reference No: | 76943867:115270069:226509 |
| Date of issue: | 08-Nov-2022 |

The information contained within this certificate relates to the land.



Wyong Office: 2 Hely St / PO Box 20 Wyong NSW 2259

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**ADVICE PROVIDED PURSUANT TO S.10.7(2) OF THE ENVIRONMENTAL
PLANNING AND ASSESSMENT ACT 1979**

| | |
|----------|---|
| 1 | NAMES OF RELEVANT PLANNING INSTRUMENTS AND DEVELOPMENT CONTROL PLANS |
|----------|---|

**(1) Environmental Planning Instruments and Development Control Plans which
apply to the land**

State Environmental Planning Policy (Precincts Regional) 2021 Pt 5.8 Gosford City Centre

Gosford City Centre Development Control Plan 2018

**ZONE B6 ENTERPRISE CORRIDOR UNDER STATE ENVIRONMENTAL PLANNING
POLICY (GOSFORD CITY CENTRE) 2018**

State Environment Planning Policy (Exempt and Complying Development Codes) 2008

State Environment Planning Policy (Building Sustainability Index: BASIX) 2004

State Environment Planning Policy No. 65 – Design Quality of Residential Apartment
Development

State Environment Planning Policy (Primary Production) 2021

State Environment Planning Policy (Transport and Infrastructure) 2021

State Environment Planning Policy (Biodiversity and Conservation) 2021

State Environment Planning Policy (Resilience and Hazards) 2021

State Environment Planning Policy (Industry and Employment) 2021

State Environment Planning Policy (Resources and Energy) 2021

State Environment Planning Policy (Planning Systems) 2021

State Environmental Planning Policy (Housing) 2021

**(2) Proposed Environmental Planning Instruments and Draft Development Control
Plans which will apply to the land and is or has been the subject of community
consultation or public exhibition**

Proposed State Environmental Planning Policy (Exempt & Complying Development Codes)

Proposed State Environmental Planning Policy (Transport and Infrastructure) 2021

Proposed State Environment Planning Policy (Building Sustainability Index: BASIX) 2004

Standard Instrument (Local Environmental Plans) Order 2006

| | |
|----------|--|
| 2 | ZONING AND LAND USE UNDER RELEVANT PLANNING INSTRUMENTS |
|----------|--|

(a) Identity of the Zone

Lot 11 Sec 82 DP 758466, Lot 1 DP 651249, Lot 16 DP 1079150, Lot 13 DP 1100206, Lot 14 DP 1100206, Lot 15 DP 1100216, Lot 12 DP 1100110

B6 ENTERPRISE CORRIDOR SEPP

(b) For each of the environmental planning instruments referred to in clause 1, please refer to the attached land use table to determine (i), (ii) and (iii) listed below:

- (i) development that may be carried out within the zone without the need for development consent,
- (ii) development which may not be carried out within the zone except with development consent and
- (iii) development which is prohibited within the zone.

(c) Whether additional permitted uses apply to the land

Additional Permitted Uses **do not** apply to this land.

(d) Development Standards applying to the land that fix minimum land dimensions for the erection of a dwelling-house

There are no development standards applying to the land that fix minimum land dimensions for the erection of a dwelling-house on the land. However there are minimum lot sizes applying to the subdivision of land, and in some zones the entitlement to erect a dwelling-house, or carry out other types of residential development, is linked to that minimum lot size.

(e) Land includes or comprises critical habitat

No

(f) Land is in a conservation area

No

(g) Item of environmental heritage is situated on the land

None

| | |
|----------|---------------------------|
| 3 | CONTRIBUTION PLANS |
|----------|---------------------------|

Gosford City Council Section 94A Development Contributions Plan - Gosford City Centre

| | |
|----------|------------------------------|
| 4 | COMPLYING DEVELOPMENT |
|----------|------------------------------|

Whether or not the land is land on which complying development can be carried out under each of the codes for complying development because of the provisions of clause 1.17A(1)(c) to (e), (2), (3) and (4), 1.18(1)(c3) and 1.19 of *State Environmental Planning Policy (Exempt and Complying Development Codes) 2008*?

GENERAL HOUSING CODE

Complying Development under the General Housing Code **may** be carried out on the land. This information needs to be read in conjunction with the whole of the State Environmental Planning Policy (Exempt and Complying Development Codes) 2008.

RURAL HOUSING CODE

Complying development under the Rural Housing Code **may** be carried out on the land. This information needs to be read in conjunction with the whole of the State Environmental Planning Policy (Exempt and Complying Development Codes) 2008.

LOW RISE HOUSING DIVERSITY CODE

Complying Development under the Low Rise Housing Diversity Code **may** be carried out on the land. This information needs to be read in conjunction with the whole of the State Environmental Planning Policy (Exempt and Complying Development Codes) 2008.

GREENFIELD HOUSING CODE

Greenfield Housing Code **is not** applicable to this land.

HOUSING ALTERATIONS CODE

Complying development under the Housing Alterations Code **may** be carried out on the land. This information needs to be read in conjunction with the whole of the State Environmental Planning Policy (Exempt and Complying Development Codes) 2008.

GENERAL DEVELOPMENT CODE

Complying development under the General Development Code **may** be carried out on the land. This information needs to be read in conjunction with the whole of the State Environmental Planning Policy (Exempt and Complying Development Codes) 2008.

COMMERCIAL AND INDUSTRIAL ALTERATIONS CODE

Complying development under the Commercial and Industrial Alterations Code **may** be carried out on the land. This information needs to be read in conjunction with the whole of the State Environmental Planning Policy (Exempt and Complying Development Codes) 2008.

COMMERCIAL AND INDUSTRIAL (NEW BUILDINGS AND ADDITIONS) CODE

Complying development under the Commercial and Industrial (New Buildings and Additions) Code **may** be carried out on the land. This information needs to be read in conjunction with the whole of the State Environmental Planning Policy (Exempt and Complying Development Codes) 2008.

CONTAINER RECYCLING FACILITIES CODE

Complying Development under the Container Recycling Facilities Code **may** be carried out on the land. This information needs to be read in conjunction with the whole of the State Environmental Planning Policy (Exempt and Complying Development Codes) 2008.

SUBDIVISIONS CODE

Complying Development under the General Housing Code **may** be carried out on the land. This information needs to be read in conjunction with the whole of the State Environmental Planning Policy (Exempt and Complying Development Codes) 2008.

DEMOLITION CODE

Complying development under the Demolition code **may** be carried out on the land. This information needs to be read in conjunction with the whole of the State Environmental Planning Policy (Exempt and Complying Development Codes) 2008.

FIRE SAFETY CODE

Complying development under the Fire Safety Code **may** be carried out on the land. This information needs to be read in conjunction with the whole of the State Environmental Planning Policy (Exempt and Complying Development Codes) 2008.

| | |
|----------|---------------------------|
| 5 | EXEMPT DEVELOPMENT |
|----------|---------------------------|

Whether or not the land is land on which exempt development may be carried out under each of the exempt development codes under *State Environmental Planning Policy (Exempt and Complying Development Codes) 2008* because of that Policy, clause 1.16(1) (b1)–(d) or 1.16A.

GENERAL EXEMPT DEVELOPMENT CODE

Exempt development under the General Exempt Development Code applies to this land. This information needs to be read in conjunction with the whole of the State Environmental Planning Policy (Exempt and Complying Development Codes) 2008.

ADVERTISING AND SIGNAGE EXEMPT DEVELOPMENT CODE

Exempt development under the Advertising and Signage Exempt Development Code applies to this land. This information needs to be read in conjunction with the whole of the State Environmental Planning Policy (Exempt and Complying Development Codes) 2008.

TEMPORARY USES AND STRUCTURES EXEMPT DEVELOPMENT CODE

Exempt development under the Temporary Uses and Structures Exempt Development Code applies to this land. This information needs to be read in conjunction with the whole of the State Environmental Planning Policy (Exempt and Complying Development Codes) 2008.

| | |
|----------|--|
| 6 | AFFECTED BUILDING NOTICES AND BUILDING PRODUCT RECTIFICATION ORDERS (<i>BUILDING PRODUCT SAFETY ACT 2017</i>) |
|----------|--|

1(a) Is there any affected building notice of which the council is aware that is in force in respect of the land?

No

1(b) Is there any building product rectification order of which the council is aware that is in force in respect of the land and has not been fully complied with?

No

1(c) Is there any notice of intention to make a building product rectification order of which the council is aware has been given in respect of the land and is outstanding?

No

In this section—

affected building notice has the same meaning as in the *Building Products (Safety) Act 2017*, Part 4.

building product rectification order has the same meaning as in the *Building Products (Safety) Act 2017*

| | |
|----------|--------------------------------------|
| 7 | LAND RESERVED FOR ACQUISITION |
|----------|--------------------------------------|

The following environmental planning instruments and proposed environmental planning instruments make provisions for the acquisition of the land by a public authority as referred to in Section 3.15 of the Act:

Nil

| | |
|----------|---|
| 8 | ROAD WIDENING AND ROAD ALIGNMENT |
|----------|---|

(a) DIVISION 2 OF PART 3 OF THE *ROADS ACT 1993*

The land is not affected by road realignment or road widening under the above.

(b) ENVIRONMENTAL PLANNING INSTRUMENT

The land is not affected by road widening or road re-alignment under the above.

(c) COUNCIL RESOLUTIONS

The land is not affected by road widening or road re-alignment under the above.

| | |
|----------|---|
| 9 | FLOOD RELATED DEVELOPMENT CONTROLS |
|----------|---|

(1) The land or part of the land **is** within the flood planning area and **is** subject to flood related development controls.

(2) The land or part of the land **is** between the flood planning area and the probable maximum flood and **is** subject to flood related development controls.

(3) In this section—

flood planning area has the same meaning as in the Floodplain Development Manual.

Floodplain Development Manual means the Floodplain Development Manual (ISBN 0 7347 5476 0) published by the NSW Government in April 2005.

probable maximum flood has the same meaning as in the Floodplain Development Manual.

| | |
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| 10 | COUNCIL AND OTHER PUBLIC AUTHORITY POLICIES ON HAZARD RISK RESTRICTIONS |
|-----------|--|

This land **is** affected by a policy adopted by the council or other public authority that restricts the development of the land because of the likelihood of risk restrictions. This land **is** affected because:

Acid sulfate class 5.

In this section—

adopted policy means a policy adopted—

- (a) by the council, or
- (b) by another public authority, if the public authority has notified the council that the policy will be included in a planning certificate issued by the council.

| | |
|-----------|-----------------------------|
| 11 | BUSH FIRE PRONE LAND |
|-----------|-----------------------------|

The information currently available to Council indicates that **all** of the land is bushfire prone land (as defined in the Act).

The information currently available to Council indicates that **some** of the land is bushfire prone land (as defined in the Act).

| | |
|-----------|---------------------------------------|
| 12 | LOOSE-FILL ASBESTOS INSULATION |
|-----------|---------------------------------------|

This land does not include any residential premises (within the meaning of Division 1A of Part 8 of the *Home Building Act 1989*) that are listed on the register that is required to be maintained under that Division. That register lists residential premises that contain or have contained loose-fill asbestos insulation.

| | |
|-----------|------------------------|
| 13 | MINE SUBSIDENCE |
|-----------|------------------------|

The land **IS NOT WITHIN** a Mine Subsidence District declared under section 20 of the *Coal Mine Subsidence Compensation Act 2017*.

| | |
|-----------|--------------------------------------|
| 14 | PAPER SUBDIVISION INFORMATION |
|-----------|--------------------------------------|

- (1) The name of any development plan adopted by a relevant authority that:
 - (a) applies to this land or
 - (b) that is proposed to be subject to a consent ballot.

Nil

- (2) The date of any subdivision order that applies to this land.

Not applicable

Words and expressions used in this clause have the same meaning as they have in Part 10 of the *Environmental Planning and Assessment Regulation 2021* and Schedule 7 of the *Environmental Planning and Assessment Act 1979*.

| | |
|-----------|----------------------------------|
| 15 | PROPERTY VEGETATION PLANS |
|-----------|----------------------------------|

Council **has not** been notified by Local Land Services – Greater Sydney that the land is subject to a property vegetation plan approved under Part 4 of the *Native Vegetation Act*

2003.

| | |
|-----------|---------------------------------------|
| 16 | BIODIVERSITY STEWARDSHIP SITES |
|-----------|---------------------------------------|

Council **has not** been notified by the Director-General of the Department of Planning and Environment that the land is a biodiversity stewardship site under a biodiversity stewardship agreement under Part 5 of the Biodiversity Conservation Act, 2016.

Note: Biodiversity stewardship agreements include biobanking agreements under the *Threatened Species Conservation Act 1995*, Part 7A that are taken to be biodiversity stewardship agreements under the *Biodiversity Conservation Act 2016*, Part 5.

| | |
|-----------|------------------------------------|
| 17 | BIODIVERSITY CERTIFIED LAND |
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The land **is not** biodiversity certified land within the meaning of Part 8 of the *Biodiversity Conservation Act, 2016*.

Note: Biodiversity certified land includes land certified under the *Threatened Species Conservation Act 1995*, Part 7AA that is taken to be certified under the *Biodiversity Conservation Act 2016*, Part 8.

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| 18 | ORDERS UNDER <i>TREES (DISPUTES BETWEEN NEIGHBOURS) ACT 2006</i> |
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Council **has not** been notified of an Order issued under the Trees (Disputes between Neighbours) Act 2006.

NOTE: This advice is based on information provided by the Land and Environment Court

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| 19 | ANNUAL CHARGES UNDER <i>LOCAL GOVERNMENT ACT 1993</i> FOR COASTAL PROTECTION SERVICES THAT RELATE TO EXISTING COASTAL PROTECTION WORKS |
|-----------|---|

The owner (or any previous owner) of the land has not consented in writing to the land being subject to annual charges under section 496B of the *Local Government Act 1993* for coastal protection services that relate to existing coastal protection works.

In this section—

existing coastal protection works has the same meaning as in the *Local Government Act 1993*, section 553B.

Note—

Existing coastal protection works are works to reduce the impact of coastal hazards on land, such as seawalls, revetments, groynes and beach nourishment, that existed before 1 January 2011.

| | |
|-----------|------------------------------------|
| 20 | WESTERN SYDNEY AEROTROPOLIS |
|-----------|------------------------------------|

Not applicable to Central Coast Local Government Area

| | |
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| 21 | DEVELOPMENT CONSENT CONDITIONS FOR SENIORS HOUSING |
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Council **is not** aware of there being a current Site Compatibility Certificate (seniors housing) issued by the Director-General of the Department of Planning and Environment in respect of the land.

NOTE: This advice is based on information provided by the NSW Department of Planning and Environment.

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| 22 | SITE COMPATIBILITY CERTIFICATES AND DEVELOPMENT CONSENT CONDITIONS FOR AFFORDABLE RENTAL HOUSING |
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Council **is not** aware of there being a valid Site Compatibility Certificate (affordable rental housing) issued by the Director-General of the Department of Planning and Environment in respect of the land.

NOTE: This advice is based on information provided by the NSW Department of Planning and Environment.

NOTE

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| CONTAMINATED LAND MANAGEMENT ACT 1997 |
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The following matters are prescribed by section 59 (2) of the *Contaminated Land Management Act 1997* as additional matters to be specified in a planning certificate:

- (a) The land to which the certificate relates is significantly contaminated land within the meaning of that Act - if the land (or part of the land) is significantly contaminated land at the date when the certificate is issued,

No

- (b) The land to which the certificate relates is subject to a management order within the meaning of that Act - if it is subject to such an order at the date when the certificate is issued,

No

- (c) The land to which the certificate relates is the subject of an approved voluntary management proposal within the meaning of that Act - if it is the subject of such an approved proposal at the date when the certificate is issued,

No

- (d) The land to which the certificate relates is subject to an ongoing maintenance order within the meaning of that Act - if it is subject to such an order at the date when the certificate is issued,

No

- (e) The land to which the certificate relates is the subject of a site audit statement within the meaning of that Act - if a copy of such a statement has been provided at any time to the local authority issuing the certificate.

No

**ADVICE PROVIDED PURSUANT TO S.10.7(5) OF THE ENVIRONMENTAL
PLANNING AND ASSESSMENT ACT 1979**

NOTE: SECTION 10.7(6) OF THE ACT STATES THAT A COUNCIL SHALL NOT INCUR ANY LIABILITY IN RESPECT OF ANY ADVICE PROVIDED IN GOOD FAITH PURSUANT TO SUBSECTION (5).

- 23.1** The property is subject to Environmental Planning and Assessment (Special Infrastructure Contribution - Gosford City Centre) Determination 2018 made by the Minister for Planning, pursuant to section 7.23 of the Environmental Planning and Assessment Act 1979 on 12 October 2018 (enquiries to the Department of Planning Industry and Environment).

For any enquiries regarding this Certificate, please contact Council's Customer Contact Centre on 1300 463 954.

Karen Hansen
Signed on Behalf of Central Coast Council

LAND USE TABLE

Zone B6 Enterprise Corridor

State Environmental Planning Policy (Precincts—Regional) 2021 Gosford City Centre

1 Objectives of zone

- To promote businesses along main roads and to encourage a mix of compatible uses.
- To provide a range of employment uses (including business, office, retail and light industrial uses).
- To maintain the economic strength of centres by limiting retailing activity.
- To provide for residential uses, but only as part of a mixed use development.

2 Permitted without consent

Nil

3 Permitted with consent

Business premises; Community facilities; Garden centres; Hardware and building supplies; Hotel or motel accommodation; Landscaping material supplies; Light industries; Multi dwelling housing; Passenger transport facilities; Plant nurseries; Recreation facilities (indoor); Residential flat buildings; Roads; Shop top housing; Warehouse or distribution centres; Any other development not specified in item 2 or 4

4 Prohibited

Agriculture; Air transport facilities; Amusement centres; Animal boarding or training establishments; Biosolids treatment facilities; Boat building and repair facilities; Boat sheds; Camping grounds; Caravan parks; Cemeteries; Centre-based child care facilities; Charter and tourism boating facilities; Correctional centres; Crematoria; Depots; Eco-tourist facilities; Electricity generating works; Environmental facilities; Environmental protection works; Exhibition homes; Exhibition villages; Extractive industries; Farm buildings; Flood mitigation works; Forestry; Freight transport facilities; Function centres; Heavy industrial storage establishments; Highway service centres; Home-based child care; Home businesses; Home occupations (sex services); Industries; Information and education facilities; Marinas; Mooring pens; Moorings; Mortuaries; Open cut mining; Recreation areas; Recreation facilities (major); Recreation facilities (outdoor); Registered clubs; Research stations; Residential accommodation; Resource recovery facilities; Restricted premises; Rural industries; Rural supplies; Service stations; Sewage treatment plants; Storage premises; Tourist and visitor accommodation; Transport depots; Vehicle body repair workshops; Vehicle repair stations; Veterinary hospitals; Waste disposal facilities; Water recreation structures; Water recycling facilities; Water supply systems



Dye & Durham Property Pty Ltd - Melbourne
PO Box 447
SOUTHBANK VIC 3006

SECTION 10.7(2) AND (5) PLANNING CERTIFICATE

Under Section 10.7 of the Environmental Planning and Assessment Act, 1979

| | |
|------------------------------|---|
| Fee paid: | \$156.00 |
| Receipt No: | 17832454 |
| Receipt Date: | 8 November 2022 |
| Property Address: | 36 Young Street, WEST GOSFORD NSW 2250 |
| Property Description: | Lot 1 DP 651249 |
| Property Owner | Bhaajayu Pty Ltd and Verugu Pty Ltd and South Pty Ltd and Galbrock Pty Ltd |
| Certificate No: | 55173 |
| Reference No: | 76943923:115270137:226511 |
| Date of issue: | 08-Nov-2022 |

The information contained within this certificate relates to the land.



Wyong Office: 2 Hely St / PO Box 20 Wyong NSW 2259

P 02 4306 7900 | E ask@centralcoast.nsw.gov.au | W centralcoast.nsw.gov.au | ABN 73 149 644 003

**ADVICE PROVIDED PURSUANT TO S.10.7(2) OF THE ENVIRONMENTAL
PLANNING AND ASSESSMENT ACT 1979**

| | |
|----------|---|
| 1 | NAMES OF RELEVANT PLANNING INSTRUMENTS AND DEVELOPMENT CONTROL PLANS |
|----------|---|

**(1) Environmental Planning Instruments and Development Control Plans which
apply to the land**

State Environmental Planning Policy (Precincts Regional) 2021 Pt 5.8 Gosford City Centre

Gosford City Centre Development Control Plan 2018

**ZONE B6 ENTERPRISE CORRIDOR UNDER STATE ENVIRONMENTAL PLANNING
POLICY (GOSFORD CITY CENTRE) 2018**

State Environment Planning Policy (Exempt and Complying Development Codes) 2008

State Environment Planning Policy (Building Sustainability Index: BASIX) 2004

State Environment Planning Policy No. 65 – Design Quality of Residential Apartment
Development

State Environment Planning Policy (Primary Production) 2021

State Environment Planning Policy (Transport and Infrastructure) 2021

State Environment Planning Policy (Biodiversity and Conservation) 2021

State Environment Planning Policy (Resilience and Hazards) 2021

State Environment Planning Policy (Industry and Employment) 2021

State Environment Planning Policy (Resources and Energy) 2021

State Environment Planning Policy (Planning Systems) 2021

State Environmental Planning Policy (Housing) 2021

**(2) Proposed Environmental Planning Instruments and Draft Development Control
Plans which will apply to the land and is or has been the subject of community
consultation or public exhibition**

Proposed State Environmental Planning Policy (Transport and Infrastructure) 2021

Proposed State Environment Planning Policy (Building Sustainability Index: BASIX) 2004

Standard Instrument (Local Environmental Plans) Order 2006

| | |
|----------|--|
| 2 | ZONING AND LAND USE UNDER RELEVANT PLANNING INSTRUMENTS |
|----------|--|

(a) Identity of the Zone

Lot 1 DP 651249

B6 ENTERPRISE CORRIDOR SEPP

(b) For each of the environmental planning instruments referred to in clause 1, please refer to the attached land use table to determine (i), (ii) and (iii) listed below:

- (i) development that may be carried out within the zone without the need for development consent,
- (ii) development which may not be carried out within the zone except with development consent and
- (iii) development which is prohibited within the zone.

(c) Whether additional permitted uses apply to the land

Additional Permitted Uses **do not** apply to this land.

(d) Development Standards applying to the land that fix minimum land dimensions for the erection of a dwelling-house

There are no development standards applying to the land that fix minimum land dimensions for the erection of a dwelling-house on the land. However there are minimum lot sizes applying to the subdivision of land, and in some zones the entitlement to erect a dwelling-house, or carry out other types of residential development, is linked to that minimum lot size.

(e) Land includes or comprises critical habitat

No

(f) Land is in a conservation area

No

(g) Item of environmental heritage is situated on the land

None

| | |
|----------|---------------------------|
| 3 | CONTRIBUTION PLANS |
|----------|---------------------------|

Gosford City Council Section 94A Development Contributions Plan - Gosford City Centre

| | |
|----------|------------------------------|
| 4 | COMPLYING DEVELOPMENT |
|----------|------------------------------|

Whether or not the land is land on which complying development can be carried out under each of the codes for complying development because of the provisions of clause 1.17A(1)(c) to (e), (2), (3) and (4), 1.18(1)(c3) and 1.19 of *State Environmental Planning Policy (Exempt and Complying Development Codes) 2008*?

GENERAL HOUSING CODE

Complying Development under the General Housing Code **may** be carried out on the land. This information needs to be read in conjunction with the whole of the State Environmental Planning Policy (Exempt and Complying Development Codes) 2008.

RURAL HOUSING CODE

Complying development under the Rural Housing Code **may** be carried out on the land. This information needs to be read in conjunction with the whole of the State Environmental Planning Policy (Exempt and Complying Development Codes) 2008.

LOW RISE HOUSING DIVERSITY CODE

Complying Development under the Low Rise Housing Diversity Code **may** be carried out on the land. This information needs to be read in conjunction with the whole of the State Environmental Planning Policy (Exempt and Complying Development Codes) 2008.

GREENFIELD HOUSING CODE

Greenfield Housing Code **is not** applicable to this land.

HOUSING ALTERATIONS CODE

Complying development under the Housing Alterations Code **may** be carried out on the land. This information needs to be read in conjunction with the whole of the State Environmental Planning Policy (Exempt and Complying Development Codes) 2008.

GENERAL DEVELOPMENT CODE

Complying development under the General Development Code **may** be carried out on the land. This information needs to be read in conjunction with the whole of the State Environmental Planning Policy (Exempt and Complying Development Codes) 2008.

COMMERCIAL AND INDUSTRIAL ALTERATIONS CODE

Complying development under the Commercial and Industrial Alterations Code **may** be carried out on the land. This information needs to be read in conjunction with the whole of the State Environmental Planning Policy (Exempt and Complying Development Codes) 2008.

COMMERCIAL AND INDUSTRIAL (NEW BUILDINGS AND ADDITIONS) CODE

Complying development under the Commercial and Industrial (New Buildings and Additions) Code **may** be carried out on the land. This information needs to be read in conjunction with the whole of the State Environmental Planning Policy (Exempt and Complying Development Codes) 2008.

CONTAINER RECYCLING FACILITIES CODE

Complying Development under the Container Recycling Facilities Code **may** be carried out on the land. This information needs to be read in conjunction with the whole of the State Environmental Planning Policy (Exempt and Complying Development Codes) 2008.

SUBDIVISIONS CODE

Complying Development under the General Housing Code **may** be carried out on the land. This information needs to be read in conjunction with the whole of the State Environmental Planning Policy (Exempt and Complying Development Codes) 2008.

DEMOLITION CODE

Complying development under the Demolition code **may** be carried out on the land. This information needs to be read in conjunction with the whole of the State Environmental Planning Policy (Exempt and Complying Development Codes) 2008.

FIRE SAFETY CODE

Complying development under the Fire Safety Code **may** be carried out on the land. This information needs to be read in conjunction with the whole of the State Environmental Planning Policy (Exempt and Complying Development Codes) 2008.

| | |
|----------|---------------------------|
| 5 | EXEMPT DEVELOPMENT |
|----------|---------------------------|

Whether or not the land is land on which exempt development may be carried out under each of the exempt development codes under *State Environmental Planning Policy (Exempt and Complying Development Codes) 2008* because of that Policy, clause 1.16(1) (b1)–(d) or 1.16A.

GENERAL EXEMPT DEVELOPMENT CODE

Exempt development under the General Exempt Development Code applies to this land. This information needs to be read in conjunction with the whole of the State Environmental Planning Policy (Exempt and Complying Development Codes) 2008.

ADVERTISING AND SIGNAGE EXEMPT DEVELOPMENT CODE

Exempt development under the Advertising and Signage Exempt Development Code applies to this land. This information needs to be read in conjunction with the whole of the State Environmental Planning Policy (Exempt and Complying Development Codes) 2008.

TEMPORARY USES AND STRUCTURES EXEMPT DEVELOPMENT CODE

Exempt development under the Temporary Uses and Structures Exempt Development Code applies to this land. This information needs to be read in conjunction with the whole of the State Environmental Planning Policy (Exempt and Complying Development Codes) 2008.

| | |
|----------|--|
| 6 | AFFECTED BUILDING NOTICES AND BUILDING PRODUCT RECTIFICATION ORDERS (<i>BUILDING PRODUCT SAFETY ACT 2017</i>) |
|----------|--|

1(a) Is there any affected building notice of which the council is aware that is in force in respect of the land?

No

1(b) Is there any building product rectification order of which the council is aware that is in force in respect of the land and has not been fully complied with?

No

1(c) Is there any notice of intention to make a building product rectification order of which the council is aware has been given in respect of the land and is outstanding?

No

In this section—

affected building notice has the same meaning as in the *Building Products (Safety) Act 2017*, Part 4.

building product rectification order has the same meaning as in the *Building Products (Safety) Act 2017*

| | |
|----------|--------------------------------------|
| 7 | LAND RESERVED FOR ACQUISITION |
|----------|--------------------------------------|

The following environmental planning instruments and proposed environmental planning instruments make provisions for the acquisition of the land by a public authority as referred to in Section 3.15 of the Act:

Nil

| | |
|----------|---|
| 8 | ROAD WIDENING AND ROAD ALIGNMENT |
|----------|---|

(a) DIVISION 2 OF PART 3 OF THE *ROADS ACT 1993*

The land is not affected by road realignment or road widening under the above.

(b) ENVIRONMENTAL PLANNING INSTRUMENT

The land is not affected by road widening or road re-alignment under the above.

(c) COUNCIL RESOLUTIONS

The land is not affected by road widening or road re-alignment under the above.

| | |
|----------|---|
| 9 | FLOOD RELATED DEVELOPMENT CONTROLS |
|----------|---|

(1) The land or part of the land **is** within the flood planning area and **is** subject to flood related development controls.

(2) The land or part of the land **is** between the flood planning area and the probable maximum flood and **is** subject to flood related development controls.

(3) In this section—

flood planning area has the same meaning as in the Floodplain Development Manual.

Floodplain Development Manual means the Floodplain Development Manual (ISBN 0 7347 5476 0) published by the NSW Government in April 2005.

probable maximum flood has the same meaning as in the Floodplain Development Manual.

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- (1) The name of any development plan adopted by a relevant authority that:
 - (a) applies to this land or
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Nil

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Not applicable

Words and expressions used in this clause have the same meaning as they have in Part 10 of the *Environmental Planning and Assessment Regulation 2021* and Schedule 7 of the *Environmental Planning and Assessment Act 1979*.

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- (d) The land to which the certificate relates is subject to an ongoing maintenance order within the meaning of that Act - if it is subject to such an order at the date when the certificate is issued,

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- (e) The land to which the certificate relates is the subject of a site audit statement within

the meaning of that Act - if a copy of such a statement has been provided at any time to the local authority issuing the certificate.

No

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PLANNING AND ASSESSMENT ACT 1979**

NOTE: SECTION 10.7(6) OF THE ACT STATES THAT A COUNCIL SHALL NOT INCUR ANY LIABILITY IN RESPECT OF ANY ADVICE PROVIDED IN GOOD FAITH PURSUANT TO SUBSECTION (5).

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Karen Hansen
Signed on Behalf of Central Coast Council

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3 Permitted with consent

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Dye & Durham Property Pty Ltd - Melbourne
PO Box 447
SOUTHBANK VIC 3006

SECTION 10.7(2) AND (5) PLANNING CERTIFICATE

Under Section 10.7 of the Environmental Planning and Assessment Act, 1979

| | |
|------------------------------|---|
| Fee paid: | \$156.00 |
| Receipt No: | 17832452 |
| Receipt Date: | 8 November 2022 |
| Property Address: | 36 Young Street, WEST GOSFORD NSW 2250 |
| Property Description: | Lot 11 Sec 82 DP 758466 |
| Property Owner | Bhaajayu Pty Ltd and Verugu Pty Ltd and South Pty Ltd and Galbrock Pty Ltd |
| Certificate No: | 55174 |
| Reference No: | 76943898?115270120:226510 |
| Date of issue: | 08-Nov-2022 |

The information contained within this certificate relates to the land.



Wyong Office: 2 Hely St / PO Box 20 Wyong NSW 2259

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**ADVICE PROVIDED PURSUANT TO S.10.7(2) OF THE ENVIRONMENTAL
PLANNING AND ASSESSMENT ACT 1979**

| | |
|----------|---|
| 1 | NAMES OF RELEVANT PLANNING INSTRUMENTS AND DEVELOPMENT CONTROL PLANS |
|----------|---|

**(1) Environmental Planning Instruments and Development Control Plans which
apply to the land**

State Environmental Planning Policy (Precincts Regional) 2021 Pt 5.8 Gosford City Centre

Gosford City Centre Development Control Plan 2018

State Environmental Planning Policy (Vegetation in Non-Rural Areas) 2017

State Environmental Planning Policy (Coastal Management) 2018 (part of lot).

**ZONE B6 ENTERPRISE CORRIDOR UNDER STATE ENVIRONMENTAL PLANNING
POLICY (GOSFORD CITY CENTRE) 2018**

State Environment Planning Policy (Exempt and Complying Development Codes) 2008

State Environment Planning Policy (Building Sustainability Index: BASIX) 2004

State Environment Planning Policy No. 65 – Design Quality of Residential Apartment
Development

State Environment Planning Policy (Primary Production) 2021

State Environment Planning Policy (Transport and Infrastructure) 2021

State Environment Planning Policy (Biodiversity and Conservation) 2021

State Environment Planning Policy (Resilience and Hazards) 2021

State Environment Planning Policy (Industry and Employment) 2021

State Environment Planning Policy (Resources and Energy) 2021

State Environment Planning Policy (Planning Systems) 2021

State Environmental Planning Policy (Housing) 2021

**(2) Proposed Environmental Planning Instruments and Draft Development Control
Plans which will apply to the land and is or has been the subject of community
consultation or public exhibition**

Proposed State Environmental Planning Policy (Transport and Infrastructure) 2021

Proposed State Environment Planning Policy (Building Sustainability Index: BASIX) 2004

Standard Instrument (Local Environmental Plans) Order 2006

| | |
|----------|--|
| 2 | ZONING AND LAND USE UNDER RELEVANT PLANNING INSTRUMENTS |
|----------|--|

(a) Identity of the Zone

Lot 11 Sec 82 DP 758466

B6 ENTERPRISE CORRIDOR SEPP

(b) For each of the environmental planning instruments referred to in clause 1, please refer to the attached land use table to determine (i), (ii) and (iii) listed below:

- (i) development that may be carried out within the zone without the need for development consent,
- (ii) development which may not be carried out within the zone except with development consent and
- (iii) development which is prohibited within the zone.

(c) Whether additional permitted uses apply to the land

Additional Permitted Uses **do not** apply to this land.

(d) Development Standards applying to the land that fix minimum land dimensions for the erection of a dwelling-house

There are no development standards applying to the land that fix minimum land dimensions for the erection of a dwelling-house on the land. However there are minimum lot sizes applying to the subdivision of land, and in some zones the entitlement to erect a dwelling-house, or carry out other types of residential development, is linked to that minimum lot size.

(e) Land includes or comprises critical habitat

No

(f) Land is in a conservation area

No

(g) Item of environmental heritage is situated on the land

None

| | |
|----------|---------------------------|
| 3 | CONTRIBUTION PLANS |
|----------|---------------------------|

Gosford City Council Section 94A Development Contributions Plan - Gosford City Centre

| | |
|----------|------------------------------|
| 4 | COMPLYING DEVELOPMENT |
|----------|------------------------------|

Whether or not the land is land on which complying development can be carried out under each of the codes for complying development because of the provisions of clause 1.17A(1)(c) to (e), (2), (3) and (4), 1.18(1)(c3) and 1.19 of *State Environmental Planning Policy (Exempt and Complying Development Codes) 2008*?

GENERAL HOUSING CODE

Complying Development under the General Housing Code **may** be carried out on the land. This information needs to be read in conjunction with the whole of the State Environmental Planning Policy (Exempt and Complying Development Codes) 2008.

RURAL HOUSING CODE

Complying development under the Rural Housing Code **may** be carried out on the land. This information needs to be read in conjunction with the whole of the State Environmental Planning Policy (Exempt and Complying Development Codes) 2008.

LOW RISE HOUSING DIVERSITY CODE

Complying Development under the Low Rise Housing Diversity Code **may** be carried out on the land. This information needs to be read in conjunction with the whole of the State Environmental Planning Policy (Exempt and Complying Development Codes) 2008.

GREENFIELD HOUSING CODE

Greenfield Housing Code **is not** applicable to this land.

HOUSING ALTERATIONS CODE

Complying development under the Housing Alterations Code **may** be carried out on the land. This information needs to be read in conjunction with the whole of the State Environmental Planning Policy (Exempt and Complying Development Codes) 2008.

GENERAL DEVELOPMENT CODE

Complying development under the General Development Code **may** be carried out on the land. This information needs to be read in conjunction with the whole of the State Environmental Planning Policy (Exempt and Complying Development Codes) 2008.

COMMERCIAL AND INDUSTRIAL ALTERATIONS CODE

Complying development under the Commercial and Industrial Alterations Code **may** be carried out on the land. This information needs to be read in conjunction with the whole of the State Environmental Planning Policy (Exempt and Complying Development Codes) 2008.

COMMERCIAL AND INDUSTRIAL (NEW BUILDINGS AND ADDITIONS) CODE

Complying development under the Commercial and Industrial (New Buildings and Additions) Code **may** be carried out on the land. This information needs to be read in conjunction with the whole of the State Environmental Planning Policy (Exempt and Complying Development Codes) 2008.

CONTAINER RECYCLING FACILITIES CODE

Complying Development under the Container Recycling Facilities Code **may** be carried out on the land. This information needs to be read in conjunction with the whole of the State Environmental Planning Policy (Exempt and Complying Development Codes) 2008.

SUBDIVISIONS CODE

Complying Development under the General Housing Code **may** be carried out on the land. This information needs to be read in conjunction with the whole of the State Environmental Planning Policy (Exempt and Complying Development Codes) 2008.

DEMOLITION CODE

Complying development under the Demolition code **may** be carried out on the land. This information needs to be read in conjunction with the whole of the State Environmental Planning Policy (Exempt and Complying Development Codes) 2008.

FIRE SAFETY CODE

Complying development under the Fire Safety Code **may** be carried out on the land. This information needs to be read in conjunction with the whole of the State Environmental Planning Policy (Exempt and Complying Development Codes) 2008.

| | |
|----------|---------------------------|
| 5 | EXEMPT DEVELOPMENT |
|----------|---------------------------|

Whether or not the land is land on which exempt development may be carried out under each of the exempt development codes under *State Environmental Planning Policy (Exempt and Complying Development Codes) 2008* because of that Policy, clause 1.16(1) (b1)–(d) or 1.16A.

GENERAL EXEMPT DEVELOPMENT CODE

Exempt development under the General Exempt Development Code applies to this land. This information needs to be read in conjunction with the whole of the State Environmental Planning Policy (Exempt and Complying Development Codes) 2008.

ADVERTISING AND SIGNAGE EXEMPT DEVELOPMENT CODE

Exempt development under the Advertising and Signage Exempt Development Code applies to this land. This information needs to be read in conjunction with the whole of the State Environmental Planning Policy (Exempt and Complying Development Codes) 2008.

TEMPORARY USES AND STRUCTURES EXEMPT DEVELOPMENT CODE

Exempt development under the Temporary Uses and Structures Exempt Development Code applies to this land. This information needs to be read in conjunction with the whole of the State Environmental Planning Policy (Exempt and Complying Development Codes) 2008.

| | |
|----------|--|
| 6 | AFFECTED BUILDING NOTICES AND BUILDING PRODUCT RECTIFICATION ORDERS (<i>BUILDING PRODUCT SAFETY ACT 2017</i>) |
|----------|--|

1(a) Is there any affected building notice of which the council is aware that is in force in respect of the land?

No

1(b) Is there any building product rectification order of which the council is aware that is in force in respect of the land and has not been fully complied with?

No

1(c) Is there any notice of intention to make a building product rectification order of which the council is aware has been given in respect of the land and is outstanding?

No

In this section—

affected building notice has the same meaning as in the *Building Products (Safety) Act 2017*, Part 4.

building product rectification order has the same meaning as in the *Building Products (Safety) Act 2017*

| | |
|----------|--------------------------------------|
| 7 | LAND RESERVED FOR ACQUISITION |
|----------|--------------------------------------|

The following environmental planning instruments and proposed environmental planning instruments make provisions for the acquisition of the land by a public authority as referred to in Section 3.15 of the Act:

Nil

| | |
|----------|---|
| 8 | ROAD WIDENING AND ROAD ALIGNMENT |
|----------|---|

(a) DIVISION 2 OF PART 3 OF THE *ROADS ACT 1993*

The land is not affected by road realignment or road widening under the above.

(b) ENVIRONMENTAL PLANNING INSTRUMENT

The land is not affected by road widening or road re-alignment under the above.

(c) COUNCIL RESOLUTIONS

The land is not affected by road widening or road re-alignment under the above.

| | |
|----------|---|
| 9 | FLOOD RELATED DEVELOPMENT CONTROLS |
|----------|---|

(1) The land or part of the land **is** within the flood planning area and **is** subject to flood related development controls.

(2) The land or part of the land **is** between the flood planning area and the probable maximum flood and **is** subject to flood related development controls.

(3) In this section—

flood planning area has the same meaning as in the Floodplain Development Manual.

Floodplain Development Manual means the Floodplain Development Manual (ISBN 0 7347 5476 0) published by the NSW Government in April 2005.

probable maximum flood has the same meaning as in the Floodplain Development Manual.

| | |
|-----------|--|
| 10 | COUNCIL AND OTHER PUBLIC AUTHORITY POLICIES ON HAZARD RISK RESTRICTIONS |
|-----------|--|

This land **is** affected by a policy adopted by the council or other public authority that restricts the development of the land because of the likelihood of risk restrictions. This land **is** affected because:

Acid sulfate class 5.

In this section—

adopted policy means a policy adopted—

- (a) by the council, or
- (b) by another public authority, if the public authority has notified the council that the policy will be included in a planning certificate issued by the council.

| | |
|-----------|-----------------------------|
| 11 | BUSH FIRE PRONE LAND |
|-----------|-----------------------------|

The information currently available to Council indicates that **all** of the land is bushfire prone land (as defined in the Act).

The information currently available to Council indicates that **some** of the land is bushfire prone land (as defined in the Act).

| | |
|-----------|---------------------------------------|
| 12 | LOOSE-FILL ASBESTOS INSULATION |
|-----------|---------------------------------------|

This land does not include any residential premises (within the meaning of Division 1A of Part 8 of the *Home Building Act 1989*) that are listed on the register that is required to be maintained under that Division. That register lists residential premises that contain or have contained loose-fill asbestos insulation.

| | |
|-----------|------------------------|
| 13 | MINE SUBSIDENCE |
|-----------|------------------------|

The land **IS NOT WITHIN** a Mine Subsidence District declared under section 20 of the *Coal Mine Subsidence Compensation Act 2017*.

| | |
|-----------|--------------------------------------|
| 14 | PAPER SUBDIVISION INFORMATION |
|-----------|--------------------------------------|

- (1) The name of any development plan adopted by a relevant authority that:
 - (a) applies to this land or
 - (b) that is proposed to be subject to a consent ballot.

Nil

- (2) The date of any subdivision order that applies to this land.

Not applicable

Words and expressions used in this clause have the same meaning as they have in Part 10 of the *Environmental Planning and Assessment Regulation 2021* and Schedule 7 of the *Environmental Planning and Assessment Act 1979*.

| | |
|-----------|----------------------------------|
| 15 | PROPERTY VEGETATION PLANS |
|-----------|----------------------------------|

Council **has not** been notified by Local Land Services – Greater Sydney that the land is subject to a property vegetation plan approved under Part 4 of the *Native Vegetation Act*

2003.

| | |
|-----------|---------------------------------------|
| 16 | BIODIVERSITY STEWARDSHIP SITES |
|-----------|---------------------------------------|

Council **has not** been notified by the Director-General of the Department of Planning and Environment that the land is a biodiversity stewardship site under a biodiversity stewardship agreement under Part 5 of the Biodiversity Conservation Act, 2016.

Note: Biodiversity stewardship agreements include biobanking agreements under the *Threatened Species Conservation Act 1995*, Part 7A that are taken to be biodiversity stewardship agreements under the *Biodiversity Conservation Act 2016*, Part 5.

| | |
|-----------|------------------------------------|
| 17 | BIODIVERSITY CERTIFIED LAND |
|-----------|------------------------------------|

The land **is not** biodiversity certified land within the meaning of Part 8 of the *Biodiversity Conservation Act, 2016*.

Note: Biodiversity certified land includes land certified under the *Threatened Species Conservation Act 1995*, Part 7AA that is taken to be certified under the *Biodiversity Conservation Act 2016*, Part 8.

| | |
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| 18 | ORDERS UNDER TREES (DISPUTES BETWEEN NEIGHBOURS) ACT 2006 |
|-----------|--|

Council **has not** been notified of an Order issued under the Trees (Disputes between Neighbours) Act 2006.

NOTE: This advice is based on information provided by the Land and Environment Court

| | |
|-----------|--|
| 19 | ANNUAL CHARGES UNDER LOCAL GOVERNMENT ACT 1993 FOR COASTAL PROTECTION SERVICES THAT RELATE TO EXISTING COASTAL PROTECTION WORKS |
|-----------|--|

The owner (or any previous owner) of the land has not consented in writing to the land being subject to annual charges under section 496B of the *Local Government Act 1993* for coastal protection services that relate to existing coastal protection works.

In this section—

existing coastal protection works has the same meaning as in the *Local Government Act 1993*, section 553B.

Note—

Existing coastal protection works are works to reduce the impact of coastal hazards on land, such as seawalls, revetments, groynes and beach nourishment, that existed before 1 January 2011.

| | |
|-----------|------------------------------------|
| 20 | WESTERN SYDNEY AEROTROPOLIS |
|-----------|------------------------------------|

Not applicable to Central Coast Local Government Area

| | |
|-----------|---|
| 21 | DEVELOPMENT CONSENT CONDITIONS FOR SENIORS HOUSING |
|-----------|---|

Council **is not** aware of there being a current Site Compatibility Certificate (seniors housing) issued by the Director-General of the Department of Planning and Environment in respect of the land.

NOTE: This advice is based on information provided by the NSW Department of Planning and Environment.

| | |
|-----------|---|
| 22 | SITE COMPATIBILITY CERTIFICATES AND DEVELOPMENT CONSENT CONDITIONS FOR AFFORDABLE RENTAL HOUSING |
|-----------|---|

Council **is not** aware of there being a valid Site Compatibility Certificate (affordable rental housing) issued by the Director-General of the Department of Planning and Environment in respect of the land.

NOTE: This advice is based on information provided by the NSW Department of Planning and Environment.

NOTE

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|--|
| CONTAMINATED LAND MANAGEMENT ACT 1997 |
|--|

The following matters are prescribed by section 59 (2) of the *Contaminated Land Management Act 1997* as additional matters to be specified in a planning certificate:

- (a) The land to which the certificate relates is significantly contaminated land within the meaning of that Act - if the land (or part of the land) is significantly contaminated land at the date when the certificate is issued,

No

- (b) The land to which the certificate relates is subject to a management order within the meaning of that Act - if it is subject to such an order at the date when the certificate is issued,

No

- (c) The land to which the certificate relates is the subject of an approved voluntary management proposal within the meaning of that Act - if it is the subject of such an approved proposal at the date when the certificate is issued,

No

- (d) The land to which the certificate relates is subject to an ongoing maintenance order within the meaning of that Act - if it is subject to such an order at the date when the certificate is issued,

No

- (e) The land to which the certificate relates is the subject of a site audit statement within the meaning of that Act - if a copy of such a statement has been provided at any time to the local authority issuing the certificate.

No

**ADVICE PROVIDED PURSUANT TO S.10.7(5) OF THE ENVIRONMENTAL
PLANNING AND ASSESSMENT ACT 1979**

NOTE: SECTION 10.7(6) OF THE ACT STATES THAT A COUNCIL SHALL NOT INCUR ANY LIABILITY IN RESPECT OF ANY ADVICE PROVIDED IN GOOD FAITH PURSUANT TO SUBSECTION (5).

- 23.1** The property is subject to Environmental Planning and Assessment (Special Infrastructure Contribution - Gosford City Centre) Determination 2018 made by the Minister for Planning, pursuant to section 7.23 of the Environmental Planning and Assessment Act 1979 on 12 October 2018 (enquiries to the Department of Planning Industry and Environment).

For any enquiries regarding this Certificate, please contact Council's Customer Contact Centre on 1300 463 954.

Karen Hansen
Signed on Behalf of Central Coast Council

LAND USE TABLE

Zone B6 Enterprise Corridor

State Environmental Planning Policy (Precincts—Regional) 2021 Gosford City Centre

1 Objectives of zone

- To promote businesses along main roads and to encourage a mix of compatible uses.
- To provide a range of employment uses (including business, office, retail and light industrial uses).
- To maintain the economic strength of centres by limiting retailing activity.
- To provide for residential uses, but only as part of a mixed use development.

2 Permitted without consent

Nil

3 Permitted with consent

Business premises; Community facilities; Garden centres; Hardware and building supplies; Hotel or motel accommodation; Landscaping material supplies; Light industries; Multi dwelling housing; Passenger transport facilities; Plant nurseries; Recreation facilities (indoor); Residential flat buildings; Roads; Shop top housing; Warehouse or distribution centres; Any other development not specified in item 2 or 4

4 Prohibited

Agriculture; Air transport facilities; Amusement centres; Animal boarding or training establishments; Biosolids treatment facilities; Boat building and repair facilities; Boat sheds; Camping grounds; Caravan parks; Cemeteries; Centre-based child care facilities; Charter and tourism boating facilities; Correctional centres; Crematoria; Depots; Eco-tourist facilities; Electricity generating works; Environmental facilities; Environmental protection works; Exhibition homes; Exhibition villages; Extractive industries; Farm buildings; Flood mitigation works; Forestry; Freight transport facilities; Function centres; Heavy industrial storage establishments; Highway service centres; Home-based child care; Home businesses; Home occupations (sex services); Industries; Information and education facilities; Marinas; Mooring pens; Moorings; Mortuaries; Open cut mining; Recreation areas; Recreation facilities (major); Recreation facilities (outdoor); Registered clubs; Research stations; Residential accommodation; Resource recovery facilities; Restricted premises; Rural industries; Rural supplies; Service stations; Sewage treatment plants; Storage premises; Tourist and visitor accommodation; Transport depots; Vehicle body repair workshops; Vehicle repair stations; Veterinary hospitals; Waste disposal facilities; Water recreation structures; Water recycling facilities; Water supply systems



Dye & Durham Property Pty Ltd - Melbourne
PO Box 447
SOUTHBANK VIC 3006

SECTION 10.7(2) AND (5) PLANNING CERTIFICATE

Under Section 10.7 of the Environmental Planning and Assessment Act, 1979

| | |
|------------------------------|---|
| Fee paid: | \$156.00 |
| Receipt No: | 17832519 |
| Receipt Date: | 8 November 2022 |
| Property Address: | 36 Young Street, WEST GOSFORD NSW 2250 |
| Property Description: | Lot 14 DP 1100206 |
| Property Owner | Bhaajayu Pty Ltd and Verugu Pty Ltd and South Pty Ltd and Galbrock Pty Ltd |
| Certificate No: | 55162 |
| Reference No: | 76944018:115270258:226524 |
| Date of issue: | 08-Nov-2022 |

The information contained within this certificate relates to the land.



Wyong Office: 2 Hely St / PO Box 20 Wyong NSW 2259

P 02 4306 7900 | E ask@centralcoast.nsw.gov.au | W centralcoast.nsw.gov.au | ABN 73 149 644 003

**ADVICE PROVIDED PURSUANT TO S.10.7(2) OF THE ENVIRONMENTAL
PLANNING AND ASSESSMENT ACT 1979**

| | |
|----------|---|
| 1 | NAMES OF RELEVANT PLANNING INSTRUMENTS AND DEVELOPMENT CONTROL PLANS |
|----------|---|

**(1) Environmental Planning Instruments and Development Control Plans which
apply to the land**

State Environmental Planning Policy (Precincts Regional) 2021 Pt 5.8 Gosford City Centre

Gosford City Centre Development Control Plan 2018

**ZONE B6 ENTERPRISE CORRIDOR UNDER STATE ENVIRONMENTAL PLANNING
POLICY (GOSFORD CITY CENTRE) 2018**

State Environment Planning Policy (Exempt and Complying Development Codes) 2008

State Environment Planning Policy (Building Sustainability Index: BASIX) 2004

State Environment Planning Policy No. 65 – Design Quality of Residential Apartment
Development

State Environment Planning Policy (Primary Production) 2021

State Environment Planning Policy (Transport and Infrastructure) 2021

State Environment Planning Policy (Biodiversity and Conservation) 2021

State Environment Planning Policy (Resilience and Hazards) 2021

State Environment Planning Policy (Industry and Employment) 2021

State Environment Planning Policy (Resources and Energy) 2021

State Environment Planning Policy (Planning Systems) 2021

State Environmental Planning Policy (Housing) 2021

**(2) Proposed Environmental Planning Instruments and Draft Development Control
Plans which will apply to the land and is or has been the subject of community
consultation or public exhibition**

Proposed State Environmental Planning Policy (Transport and Infrastructure) 2021

Proposed State Environment Planning Policy (Building Sustainability Index: BASIX) 2004

Standard Instrument (Local Environmental Plans) Order 2006

| | |
|----------|--|
| 2 | ZONING AND LAND USE UNDER RELEVANT PLANNING INSTRUMENTS |
|----------|--|

(a) Identity of the Zone

Lot 14 DP 1100206

B6 ENTERPRISE CORRIDOR SEPP

(b) For each of the environmental planning instruments referred to in clause 1, please refer to the attached land use table to determine (i), (ii) and (iii) listed below:

- (i) development that may be carried out within the zone without the need for development consent,
- (ii) development which may not be carried out within the zone except with development consent and
- (iii) development which is prohibited within the zone.

(c) Whether additional permitted uses apply to the land

Additional Permitted Uses **do not** apply to this land.

(d) Development Standards applying to the land that fix minimum land dimensions for the erection of a dwelling-house

There are no development standards applying to the land that fix minimum land dimensions for the erection of a dwelling-house on the land. However there are minimum lot sizes applying to the subdivision of land, and in some zones the entitlement to erect a dwelling-house, or carry out other types of residential development, is linked to that minimum lot size.

(e) Land includes or comprises critical habitat

No

(f) Land is in a conservation area

No

(g) Item of environmental heritage is situated on the land

None

| | |
|----------|---------------------------|
| 3 | CONTRIBUTION PLANS |
|----------|---------------------------|

Gosford City Council Section 94A Development Contributions Plan - Gosford City Centre

| | |
|----------|------------------------------|
| 4 | COMPLYING DEVELOPMENT |
|----------|------------------------------|

Whether or not the land is land on which complying development can be carried out under each of the codes for complying development because of the provisions of clause 1.17A(1)(c) to (e), (2), (3) and (4), 1.18(1)(c3) and 1.19 of *State Environmental Planning Policy (Exempt and Complying Development Codes) 2008*?

GENERAL HOUSING CODE

Complying Development under the General Housing Code **may** be carried out on the land. This information needs to be read in conjunction with the whole of the State Environmental Planning Policy (Exempt and Complying Development Codes) 2008.

RURAL HOUSING CODE

Complying development under the Rural Housing Code **may** be carried out on the land. This information needs to be read in conjunction with the whole of the State Environmental Planning Policy (Exempt and Complying Development Codes) 2008.

LOW RISE HOUSING DIVERSITY CODE

Complying Development under the Low Rise Housing Diversity Code **may** be carried out on the land. This information needs to be read in conjunction with the whole of the State Environmental Planning Policy (Exempt and Complying Development Codes) 2008.

GREENFIELD HOUSING CODE

Greenfield Housing Code **is not** applicable to this land.

HOUSING ALTERATIONS CODE

Complying development under the Housing Alterations Code **may** be carried out on the land. This information needs to be read in conjunction with the whole of the State Environmental Planning Policy (Exempt and Complying Development Codes) 2008.

GENERAL DEVELOPMENT CODE

Complying development under the General Development Code **may** be carried out on the land. This information needs to be read in conjunction with the whole of the State Environmental Planning Policy (Exempt and Complying Development Codes) 2008.

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Complying development under the Commercial and Industrial Alterations Code **may** be carried out on the land. This information needs to be read in conjunction with the whole of the State Environmental Planning Policy (Exempt and Complying Development Codes) 2008.

COMMERCIAL AND INDUSTRIAL (NEW BUILDINGS AND ADDITIONS) CODE

Complying development under the Commercial and Industrial (New Buildings and Additions) Code **may** be carried out on the land. This information needs to be read in conjunction with the whole of the State Environmental Planning Policy (Exempt and Complying Development Codes) 2008.

CONTAINER RECYCLING FACILITIES CODE

Complying Development under the Container Recycling Facilities Code **may** be carried out on the land. This information needs to be read in conjunction with the whole of the State Environmental Planning Policy (Exempt and Complying Development Codes) 2008.

SUBDIVISIONS CODE

Complying Development under the General Housing Code **may** be carried out on the land. This information needs to be read in conjunction with the whole of the State Environmental Planning Policy (Exempt and Complying Development Codes) 2008.

DEMOLITION CODE

Complying development under the Demolition code **may** be carried out on the land. This information needs to be read in conjunction with the whole of the State Environmental Planning Policy (Exempt and Complying Development Codes) 2008.

FIRE SAFETY CODE

Complying development under the Fire Safety Code **may** be carried out on the land. This information needs to be read in conjunction with the whole of the State Environmental Planning Policy (Exempt and Complying Development Codes) 2008.

| | |
|----------|---------------------------|
| 5 | EXEMPT DEVELOPMENT |
|----------|---------------------------|

Whether or not the land is land on which exempt development may be carried out under each of the exempt development codes under *State Environmental Planning Policy (Exempt and Complying Development Codes) 2008* because of that Policy, clause 1.16(1) (b1)–(d) or 1.16A.

GENERAL EXEMPT DEVELOPMENT CODE

Exempt development under the General Exempt Development Code applies to this land. This information needs to be read in conjunction with the whole of the State Environmental Planning Policy (Exempt and Complying Development Codes) 2008.

ADVERTISING AND SIGNAGE EXEMPT DEVELOPMENT CODE

Exempt development under the Advertising and Signage Exempt Development Code applies to this land. This information needs to be read in conjunction with the whole of the State Environmental Planning Policy (Exempt and Complying Development Codes) 2008.

TEMPORARY USES AND STRUCTURES EXEMPT DEVELOPMENT CODE

Exempt development under the Temporary Uses and Structures Exempt Development Code applies to this land. This information needs to be read in conjunction with the whole of the State Environmental Planning Policy (Exempt and Complying Development Codes) 2008.

| | |
|----------|--|
| 6 | AFFECTED BUILDING NOTICES AND BUILDING PRODUCT RECTIFICATION ORDERS (<i>BUILDING PRODUCT SAFETY ACT 2017</i>) |
|----------|--|

1(a) Is there any affected building notice of which the council is aware that is in force in respect of the land?

No

1(b) Is there any building product rectification order of which the council is aware that is in force in respect of the land and has not been fully complied with?

No

1(c) Is there any notice of intention to make a building product rectification order of which the council is aware has been given in respect of the land and is outstanding?

No

In this section—

affected building notice has the same meaning as in the *Building Products (Safety) Act 2017*, Part 4.

building product rectification order has the same meaning as in the *Building Products (Safety) Act 2017*

| | |
|----------|--------------------------------------|
| 7 | LAND RESERVED FOR ACQUISITION |
|----------|--------------------------------------|

The following environmental planning instruments and proposed environmental planning instruments make provisions for the acquisition of the land by a public authority as referred to in Section 3.15 of the Act:

Nil

| | |
|----------|---|
| 8 | ROAD WIDENING AND ROAD ALIGNMENT |
|----------|---|

(a) DIVISION 2 OF PART 3 OF THE *ROADS ACT 1993*

The land is not affected by road realignment or road widening under the above.

(b) ENVIRONMENTAL PLANNING INSTRUMENT

The land is not affected by road widening or road re-alignment under the above.

(c) COUNCIL RESOLUTIONS

The land is not affected by road widening or road re-alignment under the above.

| | |
|----------|---|
| 9 | FLOOD RELATED DEVELOPMENT CONTROLS |
|----------|---|

(1) The land or part of the land **is** within the flood planning area and **is** subject to flood related development controls.

(2) The land or part of the land **is** between the flood planning area and the probable maximum flood and **is** subject to flood related development controls.

(3) In this section—

flood planning area has the same meaning as in the Floodplain Development Manual.

Floodplain Development Manual means the Floodplain Development Manual (ISBN 0 7347 5476 0) published by the NSW Government in April 2005.

probable maximum flood has the same meaning as in the Floodplain Development Manual.

| | |
|-----------|--|
| 10 | COUNCIL AND OTHER PUBLIC AUTHORITY POLICIES ON HAZARD RISK RESTRICTIONS |
|-----------|--|

This land **is** affected by a policy adopted by the council or other public authority that restricts the development of the land because of the likelihood of risk restrictions. This land **is** affected because:

Acid sulfate class 5.

In this section—

adopted policy means a policy adopted—

- (a) by the council, or
- (b) by another public authority, if the public authority has notified the council that the policy will be included in a planning certificate issued by the council.

| | |
|-----------|-----------------------------|
| 11 | BUSH FIRE PRONE LAND |
|-----------|-----------------------------|

The information currently available to Council indicates that **all** of the land is bushfire prone land (as defined in the Act).

The information currently available to Council indicates that **some** of the land is bushfire prone land (as defined in the Act).

| | |
|-----------|---------------------------------------|
| 12 | LOOSE-FILL ASBESTOS INSULATION |
|-----------|---------------------------------------|

This land does not include any residential premises (within the meaning of Division 1A of Part 8 of the *Home Building Act 1989*) that are listed on the register that is required to be maintained under that Division. That register lists residential premises that contain or have contained loose-fill asbestos insulation.

| | |
|-----------|------------------------|
| 13 | MINE SUBSIDENCE |
|-----------|------------------------|

The land **IS NOT WITHIN** a Mine Subsidence District declared under section 20 of the *Coal Mine Subsidence Compensation Act 2017*.

| | |
|-----------|--------------------------------------|
| 14 | PAPER SUBDIVISION INFORMATION |
|-----------|--------------------------------------|

- (1) The name of any development plan adopted by a relevant authority that:
 - (a) applies to this land or
 - (b) that is proposed to be subject to a consent ballot.

Nil

- (2) The date of any subdivision order that applies to this land.

Not applicable

Words and expressions used in this clause have the same meaning as they have in Part 10 of the *Environmental Planning and Assessment Regulation 2021* and Schedule 7 of the *Environmental Planning and Assessment Act 1979*.

| | |
|-----------|----------------------------------|
| 15 | PROPERTY VEGETATION PLANS |
|-----------|----------------------------------|

Council **has not** been notified by Local Land Services – Greater Sydney that the land is subject to a property vegetation plan approved under Part 4 of the Native Vegetation Act 2003.

| | |
|-----------|---------------------------------------|
| 16 | BIODIVERSITY STEWARDSHIP SITES |
|-----------|---------------------------------------|

Council **has not** been notified by the Director-General of the Department of Planning and Environment that the land is a biodiversity stewardship site under a biodiversity stewardship agreement under Part 5 of the Biodiversity Conservation Act, 2016.

Note: Biodiversity stewardship agreements include biobanking agreements under the *Threatened Species Conservation Act 1995*, Part 7A that are taken to be biodiversity stewardship agreements under the *Biodiversity Conservation Act 2016*, Part 5.

| | |
|-----------|------------------------------------|
| 17 | BIODIVERSITY CERTIFIED LAND |
|-----------|------------------------------------|

The land **is not** biodiversity certified land within the meaning of Part 8 of the *Biodiversity Conservation Act, 2016*.

Note: Biodiversity certified land includes land certified under the *Threatened Species Conservation Act 1995*, Part 7AA that is taken to be certified under the *Biodiversity Conservation Act 2016*, Part 8.

| | |
|-----------|--|
| 18 | ORDERS UNDER TREES (DISPUTES BETWEEN NEIGHBOURS) ACT 2006 |
|-----------|--|

Council **has not** been notified of an Order issued under the Trees (Disputes between Neighbours) Act 2006.

NOTE: This advice is based on information provided by the Land and Environment Court

| | |
|-----------|--|
| 19 | ANNUAL CHARGES UNDER LOCAL GOVERNMENT ACT 1993 FOR COASTAL PROTECTION SERVICES THAT RELATE TO EXISTING COASTAL PROTECTION WORKS |
|-----------|--|

The owner (or any previous owner) of the land has not consented in writing to the land being subject to annual charges under section 496B of the *Local Government Act 1993* for coastal protection services that relate to existing coastal protection works.

In this section—

existing coastal protection works has the same meaning as in the *Local Government Act 1993*, section 553B.

Note—

Existing coastal protection works are works to reduce the impact of coastal hazards on land, such as seawalls, revetments, groynes and beach nourishment, that existed before 1 January 2011.

| | |
|-----------|------------------------------------|
| 20 | WESTERN SYDNEY AEROTROPOLIS |
|-----------|------------------------------------|

Not applicable to Central Coast Local Government Area

| | |
|-----------|---|
| 21 | DEVELOPMENT CONSENT CONDITIONS FOR SENIORS HOUSING |
|-----------|---|

Council **is not** aware of there being a current Site Compatibility Certificate (seniors housing) issued by the Director-General of the Department of Planning and Environment in respect of the land.

NOTE: This advice is based on information provided by the NSW Department of Planning and Environment.

| | |
|-----------|---|
| 22 | SITE COMPATIBILITY CERTIFICATES AND DEVELOPMENT CONSENT CONDITIONS FOR AFFORDABLE RENTAL HOUSING |
|-----------|---|

Council **is not** aware of there being a valid Site Compatibility Certificate (affordable rental housing) issued by the Director-General of the Department of Planning and Environment in respect of the land.

NOTE: This advice is based on information provided by the NSW Department of Planning and Environment.

NOTE

CONTAMINATED LAND MANAGEMENT ACT 1997

The following matters are prescribed by section 59 (2) of the *Contaminated Land Management Act 1997* as additional matters to be specified in a planning certificate:

- (a) The land to which the certificate relates is significantly contaminated land within the meaning of that Act - if the land (or part of the land) is significantly contaminated land at the date when the certificate is issued,

No

- (b) The land to which the certificate relates is subject to a management order within the meaning of that Act - if it is subject to such an order at the date when the certificate is issued,

No

- (c) The land to which the certificate relates is the subject of an approved voluntary management proposal within the meaning of that Act - if it is the subject of such an approved proposal at the date when the certificate is issued,

No

- (d) The land to which the certificate relates is subject to an ongoing maintenance order within the meaning of that Act - if it is subject to such an order at the date when the certificate is issued,

No

- (e) The land to which the certificate relates is the subject of a site audit statement within the meaning of that Act - if a copy of such a statement has been provided at any time to the local authority issuing the certificate.

No

**ADVICE PROVIDED PURSUANT TO S.10.7(5) OF THE ENVIRONMENTAL
PLANNING AND ASSESSMENT ACT 1979**

NOTE: SECTION 10.7(6) OF THE ACT STATES THAT A COUNCIL SHALL NOT INCUR ANY LIABILITY IN RESPECT OF ANY ADVICE PROVIDED IN GOOD FAITH PURSUANT TO SUBSECTION (5).

- 23.1** The property is subject to Environmental Planning and Assessment (Special Infrastructure Contribution - Gosford City Centre) Determination 2018 made by the Minister for Planning, pursuant to section 7.23 of the Environmental Planning and Assessment Act 1979 on 12 October 2018 (enquiries to the Department of Planning Industry and Environment).

For any enquiries regarding this Certificate, please contact Council's Customer Contact Centre on 1300 463 954.

Karen Hansen
Signed on Behalf of Central Coast Council

LAND USE TABLE

Zone B6 Enterprise Corridor

State Environmental Planning Policy (Precincts—Regional) 2021 Gosford City Centre

1 Objectives of zone

- To promote businesses along main roads and to encourage a mix of compatible uses.
- To provide a range of employment uses (including business, office, retail and light industrial uses).
- To maintain the economic strength of centres by limiting retailing activity.
- To provide for residential uses, but only as part of a mixed use development.

2 Permitted without consent

Nil

3 Permitted with consent

Business premises; Community facilities; Garden centres; Hardware and building supplies; Hotel or motel accommodation; Landscaping material supplies; Light industries; Multi dwelling housing; Passenger transport facilities; Plant nurseries; Recreation facilities (indoor); Residential flat buildings; Roads; Shop top housing; Warehouse or distribution centres; Any other development not specified in item 2 or 4

4 Prohibited

Agriculture; Air transport facilities; Amusement centres; Animal boarding or training establishments; Biosolids treatment facilities; Boat building and repair facilities; Boat sheds; Camping grounds; Caravan parks; Cemeteries; Centre-based child care facilities; Charter and tourism boating facilities; Correctional centres; Crematoria; Depots; Eco-tourist facilities; Electricity generating works; Environmental facilities; Environmental protection works; Exhibition homes; Exhibition villages; Extractive industries; Farm buildings; Flood mitigation works; Forestry; Freight transport facilities; Function centres; Heavy industrial storage establishments; Highway service centres; Home-based child care; Home businesses; Home occupations (sex services); Industries; Information and education facilities; Marinas; Mooring pens; Moorings; Mortuaries; Open cut mining; Recreation areas; Recreation facilities (major); Recreation facilities (outdoor); Registered clubs; Research stations; Residential accommodation; Resource recovery facilities; Restricted premises; Rural industries; Rural supplies; Service stations; Sewage treatment plants; Storage premises; Tourist and visitor accommodation; Transport depots; Vehicle body repair workshops; Vehicle repair stations; Veterinary hospitals; Waste disposal facilities; Water recreation structures; Water recycling facilities; Water supply systems



Dye & Durham Property Pty Ltd - Melbourne
PO Box 447
SOUTHBANK VIC 3006

SECTION 10.7(2) AND (5) PLANNING CERTIFICATE

Under Section 10.7 of the Environmental Planning and Assessment Act, 1979

| | |
|------------------------------|---|
| Fee paid: | \$156.00 |
| Receipt No: | 17832458 |
| Receipt Date: | 8 November 2022 |
| Property Address: | 36 Young Street, WEST GOSFORD NSW 2250 |
| Property Description: | Lot 16 DP 1079150 |
| Property Owner | Bhaajayu Pty Ltd and Verugu Pty Ltd and South Pty Ltd and Galbrock Pty Ltd |
| Certificate No: | 55169 |
| Reference No: | 76944001:115270230:226513 |
| Date of issue: | 08-Nov-2022 |

The information contained within this certificate relates to the land.



Wyong Office: 2 Hely St / PO Box 20 Wyong NSW 2259

P 02 4306 7900 | E ask@centralcoast.nsw.gov.au | W centralcoast.nsw.gov.au | ABN 73 149 644 003

**ADVICE PROVIDED PURSUANT TO S.10.7(2) OF THE ENVIRONMENTAL
PLANNING AND ASSESSMENT ACT 1979**

| | |
|----------|---|
| 1 | NAMES OF RELEVANT PLANNING INSTRUMENTS AND DEVELOPMENT CONTROL PLANS |
|----------|---|

**(1) Environmental Planning Instruments and Development Control Plans which
apply to the land**

State Environmental Planning Policy (Precincts Regional) 2021 Pt 5.8 Gosford City Centre

Gosford City Centre Development Control Plan 2018

**ZONE B6 ENTERPRISE CORRIDOR UNDER STATE ENVIRONMENTAL PLANNING
POLICY (GOSFORD CITY CENTRE) 2018**

State Environment Planning Policy (Exempt and Complying Development Codes) 2008

State Environment Planning Policy (Building Sustainability Index: BASIX) 2004

State Environment Planning Policy No. 65 – Design Quality of Residential Apartment
Development

State Environment Planning Policy (Primary Production) 2021

State Environment Planning Policy (Transport and Infrastructure) 2021

State Environment Planning Policy (Biodiversity and Conservation) 2021

State Environment Planning Policy (Resilience and Hazards) 2021

State Environment Planning Policy (Industry and Employment) 2021

State Environment Planning Policy (Resources and Energy) 2021

State Environment Planning Policy (Planning Systems) 2021

State Environmental Planning Policy (Housing) 2021

**(2) Proposed Environmental Planning Instruments and Draft Development Control
Plans which will apply to the land and is or has been the subject of community
consultation or public exhibition**

Proposed State Environmental Planning Policy (Transport and Infrastructure) 2021

Proposed State Environment Planning Policy (Building Sustainability Index: BASIX) 2004

Standard Instrument (Local Environmental Plans) Order 2006

| | |
|----------|--|
| 2 | ZONING AND LAND USE UNDER RELEVANT PLANNING INSTRUMENTS |
|----------|--|

(a) Identity of the Zone

Lot 16 DP 1079150

B6 ENTERPRISE CORRIDOR SEPP

(b) For each of the environmental planning instruments referred to in clause 1, please refer to the attached land use table to determine (i), (ii) and (iii) listed below:

- (i) development that may be carried out within the zone without the need for development consent,
- (ii) development which may not be carried out within the zone except with development consent and
- (iii) development which is prohibited within the zone.

(c) Whether additional permitted uses apply to the land

Additional Permitted Uses **do not** apply to this land.

(d) Development Standards applying to the land that fix minimum land dimensions for the erection of a dwelling-house

There are no development standards applying to the land that fix minimum land dimensions for the erection of a dwelling-house on the land. However there are minimum lot sizes applying to the subdivision of land, and in some zones the entitlement to erect a dwelling-house, or carry out other types of residential development, is linked to that minimum lot size.

(e) Land includes or comprises critical habitat

No

(f) Land is in a conservation area

No

(g) Item of environmental heritage is situated on the land

None

| | |
|----------|---------------------------|
| 3 | CONTRIBUTION PLANS |
|----------|---------------------------|

Gosford City Council Section 94A Development Contributions Plan - Gosford City Centre

| | |
|----------|------------------------------|
| 4 | COMPLYING DEVELOPMENT |
|----------|------------------------------|

Whether or not the land is land on which complying development can be carried out under each of the codes for complying development because of the provisions of clause 1.17A(1)(c) to (e), (2), (3) and (4), 1.18(1)(c3) and 1.19 of *State Environmental Planning Policy (Exempt and Complying Development Codes) 2008*?

GENERAL HOUSING CODE

Complying Development under the General Housing Code **may** be carried out on the land. This information needs to be read in conjunction with the whole of the State Environmental Planning Policy (Exempt and Complying Development Codes) 2008.

RURAL HOUSING CODE

Complying development under the Rural Housing Code **may** be carried out on the land. This information needs to be read in conjunction with the whole of the State Environmental Planning Policy (Exempt and Complying Development Codes) 2008.

LOW RISE HOUSING DIVERSITY CODE

Complying Development under the Low Rise Housing Diversity Code **may** be carried out on the land. This information needs to be read in conjunction with the whole of the State Environmental Planning Policy (Exempt and Complying Development Codes) 2008.

GREENFIELD HOUSING CODE

Greenfield Housing Code **is not** applicable to this land.

HOUSING ALTERATIONS CODE

Complying development under the Housing Alterations Code **may** be carried out on the land. This information needs to be read in conjunction with the whole of the State Environmental Planning Policy (Exempt and Complying Development Codes) 2008.

GENERAL DEVELOPMENT CODE

Complying development under the General Development Code **may** be carried out on the land. This information needs to be read in conjunction with the whole of the State Environmental Planning Policy (Exempt and Complying Development Codes) 2008.

COMMERCIAL AND INDUSTRIAL ALTERATIONS CODE

Complying development under the Commercial and Industrial Alterations Code **may** be carried out on the land. This information needs to be read in conjunction with the whole of the State Environmental Planning Policy (Exempt and Complying Development Codes) 2008.

COMMERCIAL AND INDUSTRIAL (NEW BUILDINGS AND ADDITIONS) CODE

Complying development under the Commercial and Industrial (New Buildings and Additions) Code **may** be carried out on the land. This information needs to be read in conjunction with the whole of the State Environmental Planning Policy (Exempt and Complying Development Codes) 2008.

CONTAINER RECYCLING FACILITIES CODE

Complying Development under the Container Recycling Facilities Code **may** be carried out on the land. This information needs to be read in conjunction with the whole of the State Environmental Planning Policy (Exempt and Complying Development Codes) 2008.

SUBDIVISIONS CODE

Complying Development under the General Housing Code **may** be carried out on the land. This information needs to be read in conjunction with the whole of the State Environmental Planning Policy (Exempt and Complying Development Codes) 2008.

DEMOLITION CODE

Complying development under the Demolition code **may** be carried out on the land. This information needs to be read in conjunction with the whole of the State Environmental Planning Policy (Exempt and Complying Development Codes) 2008.

FIRE SAFETY CODE

Complying development under the Fire Safety Code **may** be carried out on the land. This information needs to be read in conjunction with the whole of the State Environmental Planning Policy (Exempt and Complying Development Codes) 2008.

| | |
|----------|---------------------------|
| 5 | EXEMPT DEVELOPMENT |
|----------|---------------------------|

Whether or not the land is land on which exempt development may be carried out under each of the exempt development codes under *State Environmental Planning Policy (Exempt and Complying Development Codes) 2008* because of that Policy, clause 1.16(1) (b1)–(d) or 1.16A.

GENERAL EXEMPT DEVELOPMENT CODE

Exempt development under the General Exempt Development Code applies to this land. This information needs to be read in conjunction with the whole of the State Environmental Planning Policy (Exempt and Complying Development Codes) 2008.

ADVERTISING AND SIGNAGE EXEMPT DEVELOPMENT CODE

Exempt development under the Advertising and Signage Exempt Development Code applies to this land. This information needs to be read in conjunction with the whole of the State Environmental Planning Policy (Exempt and Complying Development Codes) 2008.

TEMPORARY USES AND STRUCTURES EXEMPT DEVELOPMENT CODE

Exempt development under the Temporary Uses and Structures Exempt Development Code applies to this land. This information needs to be read in conjunction with the whole of the State Environmental Planning Policy (Exempt and Complying Development Codes) 2008.

| | |
|----------|--|
| 6 | AFFECTED BUILDING NOTICES AND BUILDING PRODUCT RECTIFICATION ORDERS (<i>BUILDING PRODUCT SAFETY ACT 2017</i>) |
|----------|--|

1(a) Is there any affected building notice of which the council is aware that is in force in respect of the land?

No

1(b) Is there any building product rectification order of which the council is aware that is in force in respect of the land and has not been fully complied with?

No

1(c) Is there any notice of intention to make a building product rectification order of which the council is aware has been given in respect of the land and is outstanding?

No

In this section—

affected building notice has the same meaning as in the *Building Products (Safety) Act 2017*, Part 4.

building product rectification order has the same meaning as in the *Building Products (Safety) Act 2017*

| | |
|----------|--------------------------------------|
| 7 | LAND RESERVED FOR ACQUISITION |
|----------|--------------------------------------|

The following environmental planning instruments and proposed environmental planning instruments make provisions for the acquisition of the land by a public authority as referred to in Section 3.15 of the Act:

Nil

| | |
|----------|---|
| 8 | ROAD WIDENING AND ROAD ALIGNMENT |
|----------|---|

(a) DIVISION 2 OF PART 3 OF THE *ROADS ACT 1993*

The land is not affected by road realignment or road widening under the above.

(b) ENVIRONMENTAL PLANNING INSTRUMENT

The land is not affected by road widening or road re-alignment under the above.

(c) COUNCIL RESOLUTIONS

The land is not affected by road widening or road re-alignment under the above.

| | |
|----------|---|
| 9 | FLOOD RELATED DEVELOPMENT CONTROLS |
|----------|---|

(1) The land or part of the land **is** within the flood planning area and **is** subject to flood related development controls.

(2) The land or part of the land **is** between the flood planning area and the probable maximum flood and **is** subject to flood related development controls.

(3) In this section—

flood planning area has the same meaning as in the Floodplain Development Manual.

Floodplain Development Manual means the Floodplain Development Manual (ISBN 0 7347 5476 0) published by the NSW Government in April 2005.

probable maximum flood has the same meaning as in the Floodplain Development Manual.

| | |
|-----------|--|
| 10 | COUNCIL AND OTHER PUBLIC AUTHORITY POLICIES ON HAZARD RISK RESTRICTIONS |
|-----------|--|

This land **is** affected by a policy adopted by the council or other public authority that restricts the development of the land because of the likelihood of risk restrictions. This land **is** affected because:

Acid sulfate class 5.

In this section—

adopted policy means a policy adopted—

- (a) by the council, or
- (b) by another public authority, if the public authority has notified the council that the policy will be included in a planning certificate issued by the council.

| | |
|-----------|-----------------------------|
| 11 | BUSH FIRE PRONE LAND |
|-----------|-----------------------------|

The information currently available to Council indicates that **all** of the land is bushfire prone land (as defined in the Act).

The information currently available to Council indicates that **some** of the land is bushfire prone land (as defined in the Act).

| | |
|-----------|---------------------------------------|
| 12 | LOOSE-FILL ASBESTOS INSULATION |
|-----------|---------------------------------------|

This land does not include any residential premises (within the meaning of Division 1A of Part 8 of the *Home Building Act 1989*) that are listed on the register that is required to be maintained under that Division. That register lists residential premises that contain or have contained loose-fill asbestos insulation.

| | |
|-----------|------------------------|
| 13 | MINE SUBSIDENCE |
|-----------|------------------------|

The land **IS NOT WITHIN** a Mine Subsidence District declared under section 20 of the *Coal Mine Subsidence Compensation Act 2017*.

| | |
|-----------|--------------------------------------|
| 14 | PAPER SUBDIVISION INFORMATION |
|-----------|--------------------------------------|

- (1) The name of any development plan adopted by a relevant authority that:
 - (a) applies to this land or
 - (b) that is proposed to be subject to a consent ballot.

Nil

- (2) The date of any subdivision order that applies to this land.

Not applicable

Words and expressions used in this clause have the same meaning as they have in Part 10 of the *Environmental Planning and Assessment Regulation 2021* and Schedule 7 of the *Environmental Planning and Assessment Act 1979*.

| | |
|-----------|----------------------------------|
| 15 | PROPERTY VEGETATION PLANS |
|-----------|----------------------------------|

Council **has not** been notified by Local Land Services – Greater Sydney that the land is subject to a property vegetation plan approved under Part 4 of the *Native Vegetation Act*

2003.

| | |
|-----------|---------------------------------------|
| 16 | BIODIVERSITY STEWARDSHIP SITES |
|-----------|---------------------------------------|

Council **has not** been notified by the Director-General of the Department of Planning and Environment that the land is a biodiversity stewardship site under a biodiversity stewardship agreement under Part 5 of the Biodiversity Conservation Act, 2016.

Note: Biodiversity stewardship agreements include biobanking agreements under the *Threatened Species Conservation Act 1995*, Part 7A that are taken to be biodiversity stewardship agreements under the *Biodiversity Conservation Act 2016*, Part 5.

| | |
|-----------|------------------------------------|
| 17 | BIODIVERSITY CERTIFIED LAND |
|-----------|------------------------------------|

The land **is not** biodiversity certified land within the meaning of Part 8 of the *Biodiversity Conservation Act, 2016*.

Note: Biodiversity certified land includes land certified under the *Threatened Species Conservation Act 1995*, Part 7AA that is taken to be certified under the *Biodiversity Conservation Act 2016*, Part 8.

| | |
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| 18 | ORDERS UNDER <i>TREES (DISPUTES BETWEEN NEIGHBOURS) ACT 2006</i> |
|-----------|---|

Council **has not** been notified of an Order issued under the Trees (Disputes between Neighbours) Act 2006.

NOTE: This advice is based on information provided by the Land and Environment Court

| | |
|-----------|---|
| 19 | ANNUAL CHARGES UNDER <i>LOCAL GOVERNMENT ACT 1993</i> FOR COASTAL PROTECTION SERVICES THAT RELATE TO EXISTING COASTAL PROTECTION WORKS |
|-----------|---|

The owner (or any previous owner) of the land has not consented in writing to the land being subject to annual charges under section 496B of the *Local Government Act 1993* for coastal protection services that relate to existing coastal protection works.

In this section—

existing coastal protection works has the same meaning as in the *Local Government Act 1993*, section 553B.

Note—

Existing coastal protection works are works to reduce the impact of coastal hazards on land, such as seawalls, revetments, groynes and beach nourishment, that existed before 1 January 2011.

| | |
|-----------|------------------------------------|
| 20 | WESTERN SYDNEY AEROTROPOLIS |
|-----------|------------------------------------|

Not applicable to Central Coast Local Government Area

| | |
|-----------|---|
| 21 | DEVELOPMENT CONSENT CONDITIONS FOR SENIORS HOUSING |
|-----------|---|

Council **is not** aware of there being a current Site Compatibility Certificate (seniors housing) issued by the Director-General of the Department of Planning and Environment in respect of the land.

NOTE: This advice is based on information provided by the NSW Department of Planning and Environment.

| | |
|-----------|---|
| 22 | SITE COMPATIBILITY CERTIFICATES AND DEVELOPMENT CONSENT CONDITIONS FOR AFFORDABLE RENTAL HOUSING |
|-----------|---|

Council **is not** aware of there being a valid Site Compatibility Certificate (affordable rental housing) issued by the Director-General of the Department of Planning and Environment in respect of the land.

NOTE: This advice is based on information provided by the NSW Department of Planning and Environment.

NOTE

| |
|--|
| CONTAMINATED LAND MANAGEMENT ACT 1997 |
|--|

The following matters are prescribed by section 59 (2) of the *Contaminated Land Management Act 1997* as additional matters to be specified in a planning certificate:

- (a) The land to which the certificate relates is significantly contaminated land within the meaning of that Act - if the land (or part of the land) is significantly contaminated land at the date when the certificate is issued,

No

- (b) The land to which the certificate relates is subject to a management order within the meaning of that Act - if it is subject to such an order at the date when the certificate is issued,

No

- (c) The land to which the certificate relates is the subject of an approved voluntary management proposal within the meaning of that Act - if it is the subject of such an approved proposal at the date when the certificate is issued,

No

- (d) The land to which the certificate relates is subject to an ongoing maintenance order within the meaning of that Act - if it is subject to such an order at the date when the certificate is issued,

No

- (e) The land to which the certificate relates is the subject of a site audit statement within the meaning of that Act - if a copy of such a statement has been provided at any time to the local authority issuing the certificate.

No

**ADVICE PROVIDED PURSUANT TO S.10.7(5) OF THE ENVIRONMENTAL
PLANNING AND ASSESSMENT ACT 1979**

NOTE: SECTION 10.7(6) OF THE ACT STATES THAT A COUNCIL SHALL NOT INCUR ANY LIABILITY IN RESPECT OF ANY ADVICE PROVIDED IN GOOD FAITH PURSUANT TO SUBSECTION (5).

- 23.1** The property is subject to Environmental Planning and Assessment (Special Infrastructure Contribution - Gosford City Centre) Determination 2018 made by the Minister for Planning, pursuant to section 7.23 of the Environmental Planning and Assessment Act 1979 on 12 October 2018 (enquiries to the Department of Planning Industry and Environment).

For any enquiries regarding this Certificate, please contact Council's Customer Contact Centre on 1300 463 954.

Karen Hansen
Signed on Behalf of Central Coast Council

LAND USE TABLE

Zone B6 Enterprise Corridor

State Environmental Planning Policy (Precincts—Regional) 2021 Gosford City Centre

1 Objectives of zone

- To promote businesses along main roads and to encourage a mix of compatible uses.
- To provide a range of employment uses (including business, office, retail and light industrial uses).
- To maintain the economic strength of centres by limiting retailing activity.
- To provide for residential uses, but only as part of a mixed use development.

2 Permitted without consent

Nil

3 Permitted with consent

Business premises; Community facilities; Garden centres; Hardware and building supplies; Hotel or motel accommodation; Landscaping material supplies; Light industries; Multi dwelling housing; Passenger transport facilities; Plant nurseries; Recreation facilities (indoor); Residential flat buildings; Roads; Shop top housing; Warehouse or distribution centres; Any other development not specified in item 2 or 4

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Agriculture; Air transport facilities; Amusement centres; Animal boarding or training establishments; Biosolids treatment facilities; Boat building and repair facilities; Boat sheds; Camping grounds; Caravan parks; Cemeteries; Centre-based child care facilities; Charter and tourism boating facilities; Correctional centres; Crematoria; Depots; Eco-tourist facilities; Electricity generating works; Environmental facilities; Environmental protection works; Exhibition homes; Exhibition villages; Extractive industries; Farm buildings; Flood mitigation works; Forestry; Freight transport facilities; Function centres; Heavy industrial storage establishments; Highway service centres; Home-based child care; Home businesses; Home occupations (sex services); Industries; Information and education facilities; Marinas; Mooring pens; Moorings; Mortuaries; Open cut mining; Recreation areas; Recreation facilities (major); Recreation facilities (outdoor); Registered clubs; Research stations; Residential accommodation; Resource recovery facilities; Restricted premises; Rural industries; Rural supplies; Service stations; Sewage treatment plants; Storage premises; Tourist and visitor accommodation; Transport depots; Vehicle body repair workshops; Vehicle repair stations; Veterinary hospitals; Waste disposal facilities; Water recreation structures; Water recycling facilities; Water supply systems



Dye & Durham Property Pty Ltd - Melbourne
PO Box 447
SOUTHBANK VIC 3006

SECTION 10.7(2) AND (5) PLANNING CERTIFICATE

Under Section 10.7 of the Environmental Planning and Assessment Act, 1979

| | |
|------------------------------|---|
| Fee paid: | \$156.00 |
| Receipt No: | 17833455 |
| Receipt Date: | 8 November 2022 |
| Property Address: | 9 Racecourse Road, WEST GOSFORD NSW 2250 |
| Property Description: | Lot 73 DP 810836 |
| Property Owner | Bhaajayu Pty Ltd and South Pty Ltd and Busways East Pty Ltd and Verugu Pty Ltd and Galbrock Pty Ltd |
| Certificate No: | 55190 |
| Reference No: | 76942399:115269665:226527 |
| Date of issue: | 08-Nov-2022 |

The information contained within this certificate relates to the land.



Wyong Office: 2 Hely St / PO Box 20 Wyong NSW 2259

P 02 4306 7900 | E ask@centralcoast.nsw.gov.au | W centralcoast.nsw.gov.au | ABN 73 149 644 003

**ADVICE PROVIDED PURSUANT TO S.10.7(2) OF THE ENVIRONMENTAL
PLANNING AND ASSESSMENT ACT 1979**

| | |
|----------|---|
| 1 | NAMES OF RELEVANT PLANNING INSTRUMENTS AND DEVELOPMENT CONTROL PLANS |
|----------|---|

**(1) Environmental Planning Instruments and Development Control Plans which
apply to the land**

State Environmental Planning Policy (Precincts Regional) 2021 Pt 5.8 Gosford City Centre

Gosford City Centre Development Control Plan 2018

**ZONE B6 ENTERPRISE CORRIDOR UNDER STATE ENVIRONMENTAL PLANNING
POLICY (GOSFORD CITY CENTRE) 2018**

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State Environment Planning Policy (Building Sustainability Index: BASIX) 2004
State Environment Planning Policy No. 65 – Design Quality of Residential Apartment
Development

State Environment Planning Policy (Primary Production) 2021
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State Environment Planning Policy (Resilience and Hazards) 2021
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State Environment Planning Policy (Planning Systems) 2021
State Environmental Planning Policy (Housing) 2021

**(2) Proposed Environmental Planning Instruments and Draft Development Control
Plans which will apply to the land and is or has been the subject of community
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Proposed State Environmental Planning Policy (Transport and Infrastructure) 2021
Proposed State Environment Planning Policy (Building Sustainability Index: BASIX) 2004
Standard Instrument (Local Environmental Plans) Order 2006

| | |
|----------|--|
| 2 | ZONING AND LAND USE UNDER RELEVANT PLANNING INSTRUMENTS |
|----------|--|

(a) Identity of the Zone

Lot 73 DP 810836

B6 ENTERPRISE CORRIDOR SEPP

(b) For each of the environmental planning instruments referred to in clause 1, please refer to the attached land use table to determine (i), (ii) and (iii) listed below:

- (i) development that may be carried out within the zone without the need for development consent,
- (ii) development which may not be carried out within the zone except with development consent and
- (iii) development which is prohibited within the zone.

(c) Whether additional permitted uses apply to the land

Additional Permitted Uses **do not** apply to this land.

(d) Development Standards applying to the land that fix minimum land dimensions for the erection of a dwelling-house

There are no development standards applying to the land that fix minimum land dimensions for the erection of a dwelling-house on the land. However there are minimum lot sizes applying to the subdivision of land, and in some zones the entitlement to erect a dwelling-house, or carry out other types of residential development, is linked to that minimum lot size.

(e) Land includes or comprises critical habitat

No

(f) Land is in a conservation area

No

(g) Item of environmental heritage is situated on the land

None

| | |
|----------|---------------------------|
| 3 | CONTRIBUTION PLANS |
|----------|---------------------------|

Gosford City Council Section 94A Development Contributions Plan - Gosford City Centre

| | |
|----------|------------------------------|
| 4 | COMPLYING DEVELOPMENT |
|----------|------------------------------|

Whether or not the land is land on which complying development can be carried out under each of the codes for complying development because of the provisions of clause 1.17A(1)(c) to (e), (2), (3) and (4), 1.18(1)(c3) and 1.19 of *State Environmental Planning Policy (Exempt and Complying Development Codes) 2008*?

GENERAL HOUSING CODE

Complying Development under the General Housing Code **may** be carried out on the land. This information needs to be read in conjunction with the whole of the State Environmental Planning Policy (Exempt and Complying Development Codes) 2008.

RURAL HOUSING CODE

Complying development under the Rural Housing Code **may** be carried out on the land. This information needs to be read in conjunction with the whole of the State Environmental Planning Policy (Exempt and Complying Development Codes) 2008.

LOW RISE HOUSING DIVERSITY CODE

Complying Development under the Low Rise Housing Diversity Code **may** be carried out on the land. This information needs to be read in conjunction with the whole of the State Environmental Planning Policy (Exempt and Complying Development Codes) 2008.

GREENFIELD HOUSING CODE

Greenfield Housing Code **is not** applicable to this land.

HOUSING ALTERATIONS CODE

Complying development under the Housing Alterations Code **may** be carried out on the land. This information needs to be read in conjunction with the whole of the State Environmental Planning Policy (Exempt and Complying Development Codes) 2008.

GENERAL DEVELOPMENT CODE

Complying development under the General Development Code **may** be carried out on the land. This information needs to be read in conjunction with the whole of the State Environmental Planning Policy (Exempt and Complying Development Codes) 2008.

COMMERCIAL AND INDUSTRIAL ALTERATIONS CODE

Complying development under the Commercial and Industrial Alterations Code **may** be carried out on the land. This information needs to be read in conjunction with the whole of the State Environmental Planning Policy (Exempt and Complying Development Codes) 2008.

COMMERCIAL AND INDUSTRIAL (NEW BUILDINGS AND ADDITIONS) CODE

Complying development under the Commercial and Industrial (New Buildings and Additions) Code **may** be carried out on the land. This information needs to be read in conjunction with the whole of the State Environmental Planning Policy (Exempt and Complying Development Codes) 2008.

CONTAINER RECYCLING FACILITIES CODE

Complying Development under the Container Recycling Facilities Code **may** be carried out on the land. This information needs to be read in conjunction with the whole of the State Environmental Planning Policy (Exempt and Complying Development Codes) 2008.

SUBDIVISIONS CODE

Complying Development under the General Housing Code **may** be carried out on the land. This information needs to be read in conjunction with the whole of the State Environmental Planning Policy (Exempt and Complying Development Codes) 2008.

DEMOLITION CODE

Complying development under the Demolition code **may** be carried out on the land. This information needs to be read in conjunction with the whole of the State Environmental Planning Policy (Exempt and Complying Development Codes) 2008.

FIRE SAFETY CODE

Complying development under the Fire Safety Code **may** be carried out on the land. This information needs to be read in conjunction with the whole of the State Environmental Planning Policy (Exempt and Complying Development Codes) 2008.

| | |
|----------|---------------------------|
| 5 | EXEMPT DEVELOPMENT |
|----------|---------------------------|

Whether or not the land is land on which exempt development may be carried out under each of the exempt development codes under *State Environmental Planning Policy (Exempt and Complying Development Codes) 2008* because of that Policy, clause 1.16(1) (b1)–(d) or 1.16A.

GENERAL EXEMPT DEVELOPMENT CODE

Exempt development under the General Exempt Development Code applies to this land. This information needs to be read in conjunction with the whole of the State Environmental Planning Policy (Exempt and Complying Development Codes) 2008.

ADVERTISING AND SIGNAGE EXEMPT DEVELOPMENT CODE

Exempt development under the Advertising and Signage Exempt Development Code applies to this land. This information needs to be read in conjunction with the whole of the State Environmental Planning Policy (Exempt and Complying Development Codes) 2008.

TEMPORARY USES AND STRUCTURES EXEMPT DEVELOPMENT CODE

Exempt development under the Temporary Uses and Structures Exempt Development Code applies to this land. This information needs to be read in conjunction with the whole of the State Environmental Planning Policy (Exempt and Complying Development Codes) 2008.

| | |
|----------|--|
| 6 | AFFECTED BUILDING NOTICES AND BUILDING PRODUCT RECTIFICATION ORDERS (<i>BUILDING PRODUCT SAFETY ACT 2017</i>) |
|----------|--|

1(a) Is there any affected building notice of which the council is aware that is in force in respect of the land?

No

1(b) Is there any building product rectification order of which the council is aware that is in force in respect of the land and has not been fully complied with?

No

1(c) Is there any notice of intention to make a building product rectification order of which the council is aware has been given in respect of the land and is outstanding?

No

In this section—

affected building notice has the same meaning as in the *Building Products (Safety) Act 2017*, Part 4.

building product rectification order has the same meaning as in the *Building Products (Safety) Act 2017*

| | |
|----------|--------------------------------------|
| 7 | LAND RESERVED FOR ACQUISITION |
|----------|--------------------------------------|

The following environmental planning instruments and proposed environmental planning instruments make provisions for the acquisition of the land by a public authority as referred to in Section 3.15 of the Act:

Nil

| | |
|----------|---|
| 8 | ROAD WIDENING AND ROAD ALIGNMENT |
|----------|---|

(a) DIVISION 2 OF PART 3 OF THE *ROADS ACT 1993*

The land is not affected by road realignment or road widening under the above.

(b) ENVIRONMENTAL PLANNING INSTRUMENT

The land is not affected by road widening or road re-alignment under the above.

(c) COUNCIL RESOLUTIONS

The land is not affected by road widening or road re-alignment under the above.

| | |
|----------|---|
| 9 | FLOOD RELATED DEVELOPMENT CONTROLS |
|----------|---|

(1) The land or part of the land **is not** within the flood planning area and is **not** subject to flood related development controls.

(2) The land or part of the land **is** between the flood planning area and the probable maximum flood and **is** subject to flood related development controls.

(3) In this section—

flood planning area has the same meaning as in the Floodplain Development Manual.

Floodplain Development Manual means the Floodplain Development Manual (ISBN 0 7347 5476 0) published by the NSW Government in April 2005.

probable maximum flood has the same meaning as in the Floodplain Development Manual.

| | |
|-----------|--|
| 10 | COUNCIL AND OTHER PUBLIC AUTHORITY POLICIES ON HAZARD RISK RESTRICTIONS |
|-----------|--|

This land **is** affected by a policy adopted by the council or other public authority that restricts the development of the land because of the likelihood of risk restrictions. This land **is** affected because:

Acid sulfate class 5.

In this section—

adopted policy means a policy adopted—

- (a) by the council, or
- (b) by another public authority, if the public authority has notified the council that the policy will be included in a planning certificate issued by the council.

| | |
|-----------|-----------------------------|
| 11 | BUSH FIRE PRONE LAND |
|-----------|-----------------------------|

The information currently available to Council indicates that **some** of the land is bushfire prone land (as defined in the Act).

| | |
|-----------|---------------------------------------|
| 12 | LOOSE-FILL ASBESTOS INSULATION |
|-----------|---------------------------------------|

This land does not include any residential premises (within the meaning of Division 1A of Part 8 of the *Home Building Act 1989*) that are listed on the register that is required to be maintained under that Division. That register lists residential premises that contain or have contained loose-fill asbestos insulation.

| | |
|-----------|------------------------|
| 13 | MINE SUBSIDENCE |
|-----------|------------------------|

The land **IS NOT WITHIN** a Mine Subsidence District declared under section 20 of the *Coal Mine Subsidence Compensation Act 2017*.

| | |
|-----------|--------------------------------------|
| 14 | PAPER SUBDIVISION INFORMATION |
|-----------|--------------------------------------|

- (1) The name of any development plan adopted by a relevant authority that:
 - (a) applies to this land or
 - (b) that is proposed to be subject to a consent ballot.

Nil

- (2) The date of any subdivision order that applies to this land.

Not applicable

Words and expressions used in this clause have the same meaning as they have in Part 10 of the *Environmental Planning and Assessment Regulation 2021* and Schedule 7 of the *Environmental Planning and Assessment Act 1979*.

| | |
|-----------|----------------------------------|
| 15 | PROPERTY VEGETATION PLANS |
|-----------|----------------------------------|

Council **has not** been notified by Local Land Services – Greater Sydney that the land is subject to a property vegetation plan approved under Part 4 of the *Native Vegetation Act 2003*.

| | |
|-----------|---------------------------------------|
| 16 | BIODIVERSITY STEWARDSHIP SITES |
|-----------|---------------------------------------|

Council **has not** been notified by the Director-General of the Department of Planning and Environment that the land is a biodiversity stewardship site under a biodiversity stewardship agreement under Part 5 of the Biodiversity Conservation Act, 2016.

Note: Biodiversity stewardship agreements include biobanking agreements under the *Threatened Species Conservation Act 1995*, Part 7A that are taken to be biodiversity stewardship agreements under the *Biodiversity Conservation Act 2016*, Part 5.

| | |
|-----------|------------------------------------|
| 17 | BIODIVERSITY CERTIFIED LAND |
|-----------|------------------------------------|

The land **is not** biodiversity certified land within the meaning of Part 8 of the *Biodiversity Conservation Act, 2016*.

Note: Biodiversity certified land includes land certified under the *Threatened Species Conservation Act 1995*, Part 7AA that is taken to be certified under the *Biodiversity Conservation Act 2016*, Part 8.

| | |
|-----------|---|
| 18 | ORDERS UNDER <i>TREES (DISPUTES BETWEEN NEIGHBOURS) ACT 2006</i> |
|-----------|---|

Council **has not** been notified of an Order issued under the Trees (Disputes between Neighbours) Act 2006.

NOTE: This advice is based on information provided by the Land and Environment Court

| | |
|-----------|---|
| 19 | ANNUAL CHARGES UNDER <i>LOCAL GOVERNMENT ACT 1993</i> FOR COASTAL PROTECTION SERVICES THAT RELATE TO EXISTING COASTAL PROTECTION WORKS |
|-----------|---|

The owner (or any previous owner) of the land has not consented in writing to the land being subject to annual charges under section 496B of the *Local Government Act 1993* for coastal protection services that relate to existing coastal protection works.

In this section—

existing coastal protection works has the same meaning as in the *Local Government Act 1993*, section 553B.

Note—

Existing coastal protection works are works to reduce the impact of coastal hazards on land, such as seawalls, revetments, groynes and beach nourishment, that existed before 1 January 2011.

| | |
|-----------|------------------------------------|
| 20 | WESTERN SYDNEY AEROTROPOLIS |
|-----------|------------------------------------|

Not applicable to Central Coast Local Government Area

| | |
|-----------|---|
| 21 | DEVELOPMENT CONSENT CONDITIONS FOR SENIORS HOUSING |
|-----------|---|

Council **is not** aware of there being a current Site Compatibility Certificate (seniors housing) issued by the Director-General of the Department of Planning and Environment in respect of the land.

NOTE: This advice is based on information provided by the NSW Department of Planning and Environment.

| | |
|-----------|---|
| 22 | SITE COMPATIBILITY CERTIFICATES AND DEVELOPMENT CONSENT CONDITIONS FOR AFFORDABLE RENTAL HOUSING |
|-----------|---|

Council **is not** aware of there being a valid Site Compatibility Certificate (affordable rental housing) issued by the Director-General of the Department of Planning and Environment in respect of the land.

NOTE: This advice is based on information provided by the NSW Department of Planning and Environment.

NOTE

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|--|
| CONTAMINATED LAND MANAGEMENT ACT 1997 |
|--|

The following matters are prescribed by section 59 (2) of the *Contaminated Land Management Act 1997* as additional matters to be specified in a planning certificate:

- (a) The land to which the certificate relates is significantly contaminated land within the meaning of that Act - if the land (or part of the land) is significantly contaminated land at the date when the certificate is issued,

No

- (b) The land to which the certificate relates is subject to a management order within the meaning of that Act - if it is subject to such an order at the date when the certificate is issued,

No

- (c) The land to which the certificate relates is the subject of an approved voluntary management proposal within the meaning of that Act - if it is the subject of such an approved proposal at the date when the certificate is issued,

No

- (d) The land to which the certificate relates is subject to an ongoing maintenance order within the meaning of that Act - if it is subject to such an order at the date when the certificate is issued,

No

- (e) The land to which the certificate relates is the subject of a site audit statement within the meaning of that Act - if a copy of such a statement has been provided at any time to the local authority issuing the certificate.

No

**ADVICE PROVIDED PURSUANT TO S.10.7(5) OF THE ENVIRONMENTAL
PLANNING AND ASSESSMENT ACT 1979**

NOTE: SECTION 10.7(6) OF THE ACT STATES THAT A COUNCIL SHALL NOT INCUR ANY LIABILITY IN RESPECT OF ANY ADVICE PROVIDED IN GOOD FAITH PURSUANT TO SUBSECTION (5).

- 23.1** The property is subject to Environmental Planning and Assessment (Special Infrastructure Contribution - Gosford City Centre) Determination 2018 made by the Minister for Planning, pursuant to section 7.23 of the Environmental Planning and Assessment Act 1979 on 12 October 2018 (enquiries to the Department of Planning Industry and Environment).

For any enquiries regarding this Certificate, please contact Council's Customer Contact Centre on 1300 463 954.

Karen Hansen
Signed on Behalf of Central Coast Council

LAND USE TABLE

Zone B6 Enterprise Corridor

State Environmental Planning Policy (Precincts—Regional) 2021 Gosford City Centre

1 Objectives of zone

- To promote businesses along main roads and to encourage a mix of compatible uses.
- To provide a range of employment uses (including business, office, retail and light industrial uses).
- To maintain the economic strength of centres by limiting retailing activity.
- To provide for residential uses, but only as part of a mixed use development.

2 Permitted without consent

Nil

3 Permitted with consent

Business premises; Community facilities; Garden centres; Hardware and building supplies; Hotel or motel accommodation; Landscaping material supplies; Light industries; Multi dwelling housing; Passenger transport facilities; Plant nurseries; Recreation facilities (indoor); Residential flat buildings; Roads; Shop top housing; Warehouse or distribution centres; Any other development not specified in item 2 or 4

4 Prohibited

Agriculture; Air transport facilities; Amusement centres; Animal boarding or training establishments; Biosolids treatment facilities; Boat building and repair facilities; Boat sheds; Camping grounds; Caravan parks; Cemeteries; Centre-based child care facilities; Charter and tourism boating facilities; Correctional centres; Crematoria; Depots; Eco-tourist facilities; Electricity generating works; Environmental facilities; Environmental protection works; Exhibition homes; Exhibition villages; Extractive industries; Farm buildings; Flood mitigation works; Forestry; Freight transport facilities; Function centres; Heavy industrial storage establishments; Highway service centres; Home-based child care; Home businesses; Home occupations (sex services); Industries; Information and education facilities; Marinas; Mooring pens; Moorings; Mortuaries; Open cut mining; Recreation areas; Recreation facilities (major); Recreation facilities (outdoor); Registered clubs; Research stations; Residential accommodation; Resource recovery facilities; Restricted premises; Rural industries; Rural supplies; Service stations; Sewage treatment plants; Storage premises; Tourist and visitor accommodation; Transport depots; Vehicle body repair workshops; Vehicle repair stations; Veterinary hospitals; Waste disposal facilities; Water recreation structures; Water recycling facilities; Water supply systems



Dye & Durham Property Pty Ltd - Melbourne
PO Box 447
SOUTHBANK VIC 3006

SECTION 10.7(2) AND (5) PLANNING CERTIFICATE

Under Section 10.7 of the Environmental Planning and Assessment Act, 1979

| | |
|------------------------------|---|
| Fee paid: | \$156.00 |
| Receipt No: | 17743692 |
| Receipt Date: | 19 October 2022 |
| Property Address: | 1-3 Faunce St W, WEST GOSFORD NSW 2250 |
| Property Description: | Lot 6 DP 801261 |
| Property Owner | Bhaajayu Pty Ltd and Verugu Pty Ltd and South Pty Ltd and Galbrock Pty Ltd |
| Certificate No: | 54282 |
| Reference No: | 76685439:224259 |
| Date of issue: | 20-Oct-2022 |

The information contained within this certificate relates to the land.



Wyong Office: 2 Hely St / PO Box 20 Wyong NSW 2259

P 02 4306 7900 | E ask@centralcoast.nsw.gov.au | W centralcoast.nsw.gov.au | ABN 73 149 644 003

**ADVICE PROVIDED PURSUANT TO S.10.7(2) OF THE ENVIRONMENTAL
PLANNING AND ASSESSMENT ACT 1979**

| | |
|----------|---|
| 1 | NAMES OF RELEVANT PLANNING INSTRUMENTS AND DEVELOPMENT CONTROL PLANS |
|----------|---|

**(1) Environmental Planning Instruments and Development Control Plans which
apply to the land**

State Environmental Planning Policy (Precincts Regional) 2021 Pt 5.8 Gosford City Centre

Gosford City Centre Development Control Plan 2018

ZONE B6 ENTERPRISE CORRIDOR UNDER STATE ENVIRONMENTAL PLANNING
POLICY (GOSFORD CITY CENTRE) 2018

State Environment Planning Policy (Exempt and Complying Development Codes) 2008

State Environment Planning Policy (Building Sustainability Index: BASIX) 2004

State Environment Planning Policy No. 65 – Design Quality of Residential Apartment
Development

State Environment Planning Policy (Primary Production) 2021

State Environment Planning Policy (Transport and Infrastructure) 2021

State Environment Planning Policy (Biodiversity and Conservation) 2021

State Environment Planning Policy (Resilience and Hazards) 2021

State Environment Planning Policy (Industry and Employment) 2021

State Environment Planning Policy (Resources and Energy) 2021

State Environment Planning Policy (Planning Systems) 2021

State Environmental Planning Policy (Housing) 2021

**(2) Proposed Environmental Planning Instruments and Draft Development Control
Plans which will apply to the land and is or has been the subject of community
consultation or public exhibition**

Proposed State Environmental Planning Policy (Exempt & Complying Development Codes)
2008

Proposed State Environmental Planning Policy (Regional Infrastructure Contributions)

Proposed State Environmental Planning Policy (Transport and Infrastructure) 2021

Proposed State Environmental Planning Policy (Primary Production) 2021

Proposed State Environment Planning Policy (Building Sustainability Index: BASIX) 2004

Standard Instrument (Local Environmental Plans) Order 2006

| | |
|----------|--|
| 2 | ZONING AND LAND USE UNDER RELEVANT PLANNING INSTRUMENTS |
|----------|--|

(a) Identity of the Zone

Lot 6 DP 801261

B6 ENTERPRISE CORRIDOR SEPP

(b) For each of the environmental planning instruments referred to in clause 1, please refer to the attached land use table to determine (i), (ii) and (iii) listed below:

- (i) development that may be carried out within the zone without the need for development consent,
- (ii) development which may not be carried out within the zone except with development consent and
- (iii) development which is prohibited within the zone.

(c) Whether additional permitted uses apply to the land

Additional Permitted Uses **do not** apply to this land.

(d) Development Standards applying to the land that fix minimum land dimensions for the erection of a dwelling-house

There are no development standards applying to the land that fix minimum land dimensions for the erection of a dwelling-house on the land. However there are minimum lot sizes applying to the subdivision of land, and in some zones the entitlement to erect a dwelling-house, or carry out other types of residential development, is linked to that minimum lot size.

(e) Land includes or comprises critical habitat

No

(f) Land is in a conservation area

No

(g) Item of environmental heritage is situated on the land

None

| | |
|----------|---------------------------|
| 3 | CONTRIBUTION PLANS |
|----------|---------------------------|

Gosford City Council Section 94A Development Contributions Plan - Gosford City Centre

| | |
|----------|------------------------------|
| 4 | COMPLYING DEVELOPMENT |
|----------|------------------------------|

Whether or not the land is land on which complying development can be carried out under each of the codes for complying development because of the provisions of clause 1.17A(1)(c) to (e), (2), (3) and (4), 1.18(1)(c3) and 1.19 of *State Environmental Planning Policy (Exempt and Complying Development Codes) 2008*?

GENERAL HOUSING CODE

Complying Development under the General Housing Code **may** be carried out on the land. This information needs to be read in conjunction with the whole of the State Environmental Planning Policy (Exempt and Complying Development Codes) 2008.

RURAL HOUSING CODE

Complying development under the Rural Housing Code **may** be carried out on the land. This information needs to be read in conjunction with the whole of the State Environmental Planning Policy (Exempt and Complying Development Codes) 2008.

LOW RISE HOUSING DIVERSITY CODE

Complying Development under the Low Rise Housing Diversity Code **may** be carried out on the land. This information needs to be read in conjunction with the whole of the State Environmental Planning Policy (Exempt and Complying Development Codes) 2008.

GREENFIELD HOUSING CODE

Greenfield Housing Code is **not** applicable to this land.

HOUSING ALTERATIONS CODE

Complying development under the Housing Alterations Code **may** be carried out on the land. This information needs to be read in conjunction with the whole of the State Environmental Planning Policy (Exempt and Complying Development Codes) 2008.

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Complying development under the General Development Code **may** be carried out on the land. This information needs to be read in conjunction with the whole of the State Environmental Planning Policy (Exempt and Complying Development Codes) 2008.

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Complying development under the Commercial and Industrial Alterations Code **may** be carried out on the land. This information needs to be read in conjunction with the whole of the State Environmental Planning Policy (Exempt and Complying Development Codes) 2008.

COMMERCIAL AND INDUSTRIAL (NEW BUILDINGS AND ADDITIONS) CODE

Complying development under the Commercial and Industrial (New Buildings and Additions) Code **may** be carried out on the land. This information needs to be read in conjunction with the whole of the State Environmental Planning Policy (Exempt and Complying Development Codes) 2008.

CONTAINER RECYCLING FACILITIES CODE

Complying Development under the Container Recycling Facilities Code **may** be carried out on the land. This information needs to be read in conjunction with the whole of the State Environmental Planning Policy (Exempt and Complying Development Codes) 2008.

SUBDIVISIONS CODE

Complying Development under the General Housing Code **may** be carried out on the land. This information needs to be read in conjunction with the whole of the State Environmental Planning Policy (Exempt and Complying Development Codes) 2008.

DEMOLITION CODE

Complying development under the Demolition code **may** be carried out on the land. This information needs to be read in conjunction with the whole of the State Environmental Planning Policy (Exempt and Complying Development Codes) 2008.

FIRE SAFETY CODE

Complying development under the Fire Safety Code **may** be carried out on the land. This information needs to be read in conjunction with the whole of the State Environmental Planning Policy (Exempt and Complying Development Codes) 2008.

| | |
|----------|---------------------------|
| 5 | EXEMPT DEVELOPMENT |
|----------|---------------------------|

Whether or not the land is land on which exempt development may be carried out under each of the exempt development codes under *State Environmental Planning Policy (Exempt and Complying Development Codes) 2008* because of that Policy, clause 1.16(1) (b1)–(d) or 1.16A.

GENERAL EXEMPT DEVELOPMENT CODE

Exempt development under the General Exempt Development Code applies to this land. This information needs to be read in conjunction with the whole of the State Environmental Planning Policy (Exempt and Complying Development Codes) 2008.

ADVERTISING AND SIGNAGE EXEMPT DEVELOPMENT CODE

Exempt development under the Advertising and Signage Exempt Development Code applies to this land. This information needs to be read in conjunction with the whole of the State Environmental Planning Policy (Exempt and Complying Development Codes) 2008.

TEMPORARY USES AND STRUCTURES EXEMPT DEVELOPMENT CODE

Exempt development under the Temporary Uses and Structures Exempt Development Code applies to this land. This information needs to be read in conjunction with the whole of the State Environmental Planning Policy (Exempt and Complying Development Codes) 2008.

| | |
|----------|--|
| 6 | AFFECTED BUILDING NOTICES AND BUILDING PRODUCT RECTIFICATION ORDERS (<i>BUILDING PRODUCT SAFETY ACT 2017</i>) |
|----------|--|

1(a) Is there any affected building notice of which the council is aware that is in force in respect of the land?

No

1(b) Is there any building product rectification order of which the council is aware that is in force in respect of the land and has not been fully complied with?

No

1(c) Is there any notice of intention to make a building product rectification order of which the council is aware has been given in respect of the land and is outstanding?

No

In this section—

affected building notice has the same meaning as in the *Building Products (Safety) Act 2017*, Part 4.

building product rectification order has the same meaning as in the *Building Products (Safety) Act 2017*

| | |
|----------|--------------------------------------|
| 7 | LAND RESERVED FOR ACQUISITION |
|----------|--------------------------------------|

The following environmental planning instruments and proposed environmental planning instruments make provisions for the acquisition of the land by a public authority as referred to in Section 3.15 of the Act:

Nil

| | |
|----------|---|
| 8 | ROAD WIDENING AND ROAD ALIGNMENT |
|----------|---|

(a) DIVISION 2 OF PART 3 OF THE *ROADS ACT 1993*

The land is not affected by road realignment or road widening under the above.

(b) ENVIRONMENTAL PLANNING INSTRUMENT

The land is not affected by road widening or road re-alignment under the above.

(c) COUNCIL RESOLUTIONS

The land is not affected by road widening or road re-alignment under the above.

| | |
|----------|---|
| 9 | FLOOD RELATED DEVELOPMENT CONTROLS |
|----------|---|

(1) The land or part of the land **is** within the flood planning area and **is** subject to flood related development controls.

(2) The land or part of the land **is** between the flood planning area and the probable maximum flood and **is** subject to flood related development controls.

(3) In this section—

flood planning area has the same meaning as in the Floodplain Development Manual.

Floodplain Development Manual means the Floodplain Development Manual (ISBN 0 7347 5476 0) published by the NSW Government in April 2005.

probable maximum flood has the same meaning as in the Floodplain Development Manual.

| | |
|-----------|--|
| 10 | COUNCIL AND OTHER PUBLIC AUTHORITY POLICIES ON HAZARD RISK RESTRICTIONS |
|-----------|--|

This land **is** affected by a policy adopted by the council or other public authority that restricts the development of the land because of the likelihood of risk restrictions. This land **is** affected because:

Acid sulfate class 5.

In this section—

adopted policy means a policy adopted—

- (a) by the council, or
- (b) by another public authority, if the public authority has notified the council that the policy will be included in a planning certificate issued by the council.

| | |
|-----------|-----------------------------|
| 11 | BUSH FIRE PRONE LAND |
|-----------|-----------------------------|

The information currently available to Council indicates that **some** of the land is bushfire prone land (as defined in the Act).

| | |
|-----------|---------------------------------------|
| 12 | LOOSE-FILL ASBESTOS INSULATION |
|-----------|---------------------------------------|

This land does not include any residential premises (within the meaning of Division 1A of Part 8 of the *Home Building Act 1989*) that are listed on the register that is required to be maintained under that Division. That register lists residential premises that contain or have contained loose-fill asbestos insulation.

| | |
|-----------|------------------------|
| 13 | MINE SUBSIDENCE |
|-----------|------------------------|

The land **IS NOT WITHIN** a Mine Subsidence District declared under section 20 of the *Coal Mine Subsidence Compensation Act 2017*.

| | |
|-----------|--------------------------------------|
| 14 | PAPER SUBDIVISION INFORMATION |
|-----------|--------------------------------------|

- (1) The name of any development plan adopted by a relevant authority that:
 - (a) applies to this land or
 - (b) that is proposed to be subject to a consent ballot.

Nil

- (2) The date of any subdivision order that applies to this land.

Not applicable

Words and expressions used in this clause have the same meaning as they have in Part 10 of the *Environmental Planning and Assessment Regulation 2021* and Schedule 7 of the *Environmental Planning and Assessment Act 1979*.

| | |
|-----------|----------------------------------|
| 15 | PROPERTY VEGETATION PLANS |
|-----------|----------------------------------|

Council **has not** been notified by Local Land Services – Greater Sydney that the land is subject to a property vegetation plan approved under Part 4 of the *Native Vegetation Act 2003*.

| | |
|----|---------------------------------------|
| 16 | BIODIVERSITY STEWARDSHIP SITES |
|----|---------------------------------------|

Council **has not** been notified by the Director-General of the Department of Planning and Environment that the land is a biodiversity stewardship site under a biodiversity stewardship agreement under Part 5 of the Biodiversity Conservation Act, 2016.

Note: Biodiversity stewardship agreements include biobanking agreements under the *Threatened Species Conservation Act 1995*, Part 7A that are taken to be biodiversity stewardship agreements under the *Biodiversity Conservation Act 2016*, Part 5.

| | |
|----|------------------------------------|
| 17 | BIODIVERSITY CERTIFIED LAND |
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The land **is not** biodiversity certified land within the meaning of Part 8 of the *Biodiversity Conservation Act, 2016*.

Note: Biodiversity certified land includes land certified under the *Threatened Species Conservation Act 1995*, Part 7AA that is taken to be certified under the *Biodiversity Conservation Act 2016*, Part 8.

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| 18 | ORDERS UNDER <i>TREES (DISPUTES BETWEEN NEIGHBOURS) ACT 2006</i> |
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Council **has not** been notified of an Order issued under the *Trees (Disputes between Neighbours) Act 2006*.

NOTE: This advice is based on information provided by the Land and Environment Court

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| 19 | ANNUAL CHARGES UNDER <i>LOCAL GOVERNMENT ACT 1993</i> FOR COASTAL PROTECTION SERVICES THAT RELATE TO EXISTING COASTAL PROTECTION WORKS |
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The owner (or any previous owner) of the land has not consented in writing to the land being subject to annual charges under section 496B of the *Local Government Act 1993* for coastal protection services that relate to existing coastal protection works.

In this section—

existing coastal protection works has the same meaning as in the *Local Government Act 1993*, section 553B.

Note—

Existing coastal protection works are works to reduce the impact of coastal hazards on land, such as seawalls, revetments, groynes and beach nourishment, that existed before 1 January 2011.

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| 20 | WESTERN SYDNEY AEROTROPOLIS |
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Not applicable to Central Coast Local Government Area

| | |
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| 21 | DEVELOPMENT CONSENT CONDITIONS FOR SENIORS HOUSING |
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Council **is not** aware of there being a current Site Compatibility Certificate (seniors housing) issued by the Director-General of the Department of Planning and Environment in respect of the land.

NOTE: This advice is based on information provided by the NSW Department of Planning and Environment.

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| 22 | SITE COMPATIBILITY CERTIFICATES AND DEVELOPMENT CONSENT CONDITIONS FOR AFFORDABLE RENTAL HOUSING |
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Council **is not** aware of there being a valid Site Compatibility Certificate (affordable rental housing) issued by the Director-General of the Department of Planning and Environment in respect of the land.

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NOTE

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| CONTAMINATED LAND MANAGEMENT ACT 1997 |
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The following matters are prescribed by section 59 (2) of the *Contaminated Land Management Act 1997* as additional matters to be specified in a planning certificate:

- (a) The land to which the certificate relates is significantly contaminated land within the meaning of that Act - if the land (or part of the land) is significantly contaminated land at the date when the certificate is issued,

No

- (b) The land to which the certificate relates is subject to a management order within the meaning of that Act - if it is subject to such an order at the date when the certificate is issued,

No

- (c) The land to which the certificate relates is the subject of an approved voluntary management proposal within the meaning of that Act - if it is the subject of such an approved proposal at the date when the certificate is issued,

No

- (d) The land to which the certificate relates is subject to an ongoing maintenance order within the meaning of that Act - if it is subject to such an order at the date when the certificate is issued,

No

- (e) The land to which the certificate relates is the subject of a site audit statement within the meaning of that Act - if a copy of such a statement has been provided at any time to the local authority issuing the certificate.

No

**ADVICE PROVIDED PURSUANT TO S.10.7(5) OF THE ENVIRONMENTAL
PLANNING AND ASSESSMENT ACT 1979**

NOTE: SECTION 10.7(6) OF THE ACT STATES THAT A COUNCIL SHALL NOT INCUR ANY LIABILITY IN RESPECT OF ANY ADVICE PROVIDED IN GOOD FAITH PURSUANT TO SUBSECTION (5).

- 23.1** The property is subject to Environmental Planning and Assessment (Special Infrastructure Contribution - Gosford City Centre) Determination 2018 made by the Minister for Planning, pursuant to section 7.23 of the Environmental Planning and Assessment Act 1979 on 12 October 2018 (enquiries to the Department of Planning Industry and Environment).

For any enquiries regarding this Certificate, please contact Council's Customer Contact Centre on 1300 463 954.

Karen Hansen
Signed on Behalf of Central Coast Council

LAND USE TABLE

Zone B6 Enterprise Corridor

State Environmental Planning Policy (Precincts—Regional) 2021 Gosford City Centre

1 Objectives of zone

- To promote businesses along main roads and to encourage a mix of compatible uses.
- To provide a range of employment uses (including business, office, retail and light industrial uses).
- To maintain the economic strength of centres by limiting retailing activity.
- To provide for residential uses, but only as part of a mixed use development.

2 Permitted without consent

Nil

3 Permitted with consent

Business premises; Community facilities; Garden centres; Hardware and building supplies; Hotel or motel accommodation; Landscaping material supplies; Light industries; Multi dwelling housing; Passenger transport facilities; Plant nurseries; Recreation facilities (indoor); Residential flat buildings; Roads; Shop top housing; Warehouse or distribution centres; Any other development not specified in item 2 or 4

4 Prohibited

Agriculture; Air transport facilities; Amusement centres; Animal boarding or training establishments; Biosolids treatment facilities; Boat building and repair facilities; Boat sheds; Camping grounds; Caravan parks; Cemeteries; Centre-based child care facilities; Charter and tourism boating facilities; Correctional centres; Crematoria; Depots; Eco-tourist facilities; Electricity generating works; Environmental facilities; Environmental protection works; Exhibition homes; Exhibition villages; Extractive industries; Farm buildings; Flood mitigation works; Forestry; Freight transport facilities; Function centres; Heavy industrial storage establishments; Highway service centres; Home-based child care; Home businesses; Home occupations (sex services); Industries; Information and education facilities; Marinas; Mooring pens; Moorings; Mortuaries; Open cut mining; Recreation areas; Recreation facilities (major); Recreation facilities (outdoor); Registered clubs; Research stations; Residential accommodation; Resource recovery facilities; Restricted premises; Rural industries; Rural supplies; Service stations; Sewage treatment plants; Storage premises; Tourist and visitor accommodation; Transport depots; Vehicle body repair workshops; Vehicle repair stations; Veterinary hospitals; Waste disposal facilities; Water recreation structures; Water recycling facilities; Water supply systems



Dye & Durham Property Pty Ltd - Melbourne
PO Box 447
SOUTHBANK VIC 3006

SECTION 10.7(2) AND (5) PLANNING CERTIFICATE

Under Section 10.7 of the Environmental Planning and Assessment Act, 1979

| | |
|------------------------------|---|
| Fee paid: | \$156.00 |
| Receipt No: | 17832441 |
| Receipt Date: | 8 November 2022 |
| Property Address: | 11 Racecourse Road, WEST GOSFORD NSW 2250 |
| Property Description: | Lot 71 DP 810836 |
| Property Owner | Bhaajayu Pty Ltd and Verugu Pty Ltd and South Pty Ltd and Galbrock Pty Ltd |
| Certificate No: | 55180 |
| Reference No: | 76943612:115269795:226506 |
| Date of issue: | 08-Nov-2022 |

The information contained within this certificate relates to the land.



Wyong Office: 2 Hely St / PO Box 20 Wyong NSW 2259

P 02 4306 7900 | E ask@centralcoast.nsw.gov.au | W centralcoast.nsw.gov.au | ABN 73 149 644 003

**ADVICE PROVIDED PURSUANT TO S.10.7(2) OF THE ENVIRONMENTAL
PLANNING AND ASSESSMENT ACT 1979**

| | |
|----------|---|
| 1 | NAMES OF RELEVANT PLANNING INSTRUMENTS AND DEVELOPMENT CONTROL PLANS |
|----------|---|

**(1) Environmental Planning Instruments and Development Control Plans which
apply to the land**

State Environmental Planning Policy (Precincts Regional) 2021 Pt 5.8 Gosford City Centre

Gosford City Centre Development Control Plan 2018

**ZONE B6 ENTERPRISE CORRIDOR UNDER STATE ENVIRONMENTAL PLANNING
POLICY (GOSFORD CITY CENTRE) 2018**

State Environment Planning Policy (Exempt and Complying Development Codes) 2008

State Environment Planning Policy (Building Sustainability Index: BASIX) 2004

State Environment Planning Policy No. 65 – Design Quality of Residential Apartment
Development

State Environment Planning Policy (Primary Production) 2021

State Environment Planning Policy (Transport and Infrastructure) 2021

State Environment Planning Policy (Biodiversity and Conservation) 2021

State Environment Planning Policy (Resilience and Hazards) 2021

State Environment Planning Policy (Industry and Employment) 2021

State Environment Planning Policy (Resources and Energy) 2021

State Environment Planning Policy (Planning Systems) 2021

State Environmental Planning Policy (Housing) 2021

**(2) Proposed Environmental Planning Instruments and Draft Development Control
Plans which will apply to the land and is or has been the subject of community
consultation or public exhibition**

Proposed State Environmental Planning Policy (Transport and Infrastructure) 2021

Proposed State Environment Planning Policy (Building Sustainability Index: BASIX) 2004

Standard Instrument (Local Environmental Plans) Order 2006

| | |
|----------|--|
| 2 | ZONING AND LAND USE UNDER RELEVANT PLANNING INSTRUMENTS |
|----------|--|

(a) Identity of the Zone

Lot 71 DP 810836

B6 ENTERPRISE CORRIDOR SEPP

(b) For each of the environmental planning instruments referred to in clause 1, please refer to the attached land use table to determine (i), (ii) and (iii) listed below:

- (i) development that may be carried out within the zone without the need for development consent,
- (ii) development which may not be carried out within the zone except with development consent and
- (iii) development which is prohibited within the zone.

(c) Whether additional permitted uses apply to the land

Additional Permitted Uses **do not** apply to this land.

(d) Development Standards applying to the land that fix minimum land dimensions for the erection of a dwelling-house

There are no development standards applying to the land that fix minimum land dimensions for the erection of a dwelling-house on the land. However there are minimum lot sizes applying to the subdivision of land, and in some zones the entitlement to erect a dwelling-house, or carry out other types of residential development, is linked to that minimum lot size.

(e) Land includes or comprises critical habitat

No

(f) Land is in a conservation area

No

(g) Item of environmental heritage is situated on the land

None

| | |
|----------|---------------------------|
| 3 | CONTRIBUTION PLANS |
|----------|---------------------------|

Gosford City Council Section 94A Development Contributions Plan - Gosford City Centre

| | |
|----------|------------------------------|
| 4 | COMPLYING DEVELOPMENT |
|----------|------------------------------|

Whether or not the land is land on which complying development can be carried out under each of the codes for complying development because of the provisions of clause 1.17A(1)(c) to (e), (2), (3) and (4), 1.18(1)(c3) and 1.19 of *State Environmental Planning Policy (Exempt and Complying Development Codes) 2008*?

GENERAL HOUSING CODE

Complying Development under the General Housing Code **may** be carried out on the land. This information needs to be read in conjunction with the whole of the State Environmental Planning Policy (Exempt and Complying Development Codes) 2008.

RURAL HOUSING CODE

Complying development under the Rural Housing Code **may** be carried out on the land. This information needs to be read in conjunction with the whole of the State Environmental Planning Policy (Exempt and Complying Development Codes) 2008.

LOW RISE HOUSING DIVERSITY CODE

Complying Development under the Low Rise Housing Diversity Code **may** be carried out on the land. This information needs to be read in conjunction with the whole of the State Environmental Planning Policy (Exempt and Complying Development Codes) 2008.

GREENFIELD HOUSING CODE

Greenfield Housing Code **is not** applicable to this land.

HOUSING ALTERATIONS CODE

Complying development under the Housing Alterations Code **may** be carried out on the land. This information needs to be read in conjunction with the whole of the State Environmental Planning Policy (Exempt and Complying Development Codes) 2008.

GENERAL DEVELOPMENT CODE

Complying development under the General Development Code **may** be carried out on the land. This information needs to be read in conjunction with the whole of the State Environmental Planning Policy (Exempt and Complying Development Codes) 2008.

COMMERCIAL AND INDUSTRIAL ALTERATIONS CODE

Complying development under the Commercial and Industrial Alterations Code **may** be carried out on the land. This information needs to be read in conjunction with the whole of the State Environmental Planning Policy (Exempt and Complying Development Codes) 2008.

COMMERCIAL AND INDUSTRIAL (NEW BUILDINGS AND ADDITIONS) CODE

Complying development under the Commercial and Industrial (New Buildings and Additions) Code **may** be carried out on the land. This information needs to be read in conjunction with the whole of the State Environmental Planning Policy (Exempt and Complying Development Codes) 2008.

CONTAINER RECYCLING FACILITIES CODE

Complying Development under the Container Recycling Facilities Code **may** be carried out on the land. This information needs to be read in conjunction with the whole of the State Environmental Planning Policy (Exempt and Complying Development Codes) 2008.

SUBDIVISIONS CODE

Complying Development under the General Housing Code **may** be carried out on the land. This information needs to be read in conjunction with the whole of the State Environmental Planning Policy (Exempt and Complying Development Codes) 2008.

DEMOLITION CODE

Complying development under the Demolition code **may** be carried out on the land. This information needs to be read in conjunction with the whole of the State Environmental Planning Policy (Exempt and Complying Development Codes) 2008.

FIRE SAFETY CODE

Complying development under the Fire Safety Code **may** be carried out on the land. This information needs to be read in conjunction with the whole of the State Environmental Planning Policy (Exempt and Complying Development Codes) 2008.

| | |
|----------|---------------------------|
| 5 | EXEMPT DEVELOPMENT |
|----------|---------------------------|

Whether or not the land is land on which exempt development may be carried out under each of the exempt development codes under *State Environmental Planning Policy (Exempt and Complying Development Codes) 2008* because of that Policy, clause 1.16(1) (b1)–(d) or 1.16A.

GENERAL EXEMPT DEVELOPMENT CODE

Exempt development under the General Exempt Development Code applies to this land. This information needs to be read in conjunction with the whole of the State Environmental Planning Policy (Exempt and Complying Development Codes) 2008.

ADVERTISING AND SIGNAGE EXEMPT DEVELOPMENT CODE

Exempt development under the Advertising and Signage Exempt Development Code applies to this land. This information needs to be read in conjunction with the whole of the State Environmental Planning Policy (Exempt and Complying Development Codes) 2008.

TEMPORARY USES AND STRUCTURES EXEMPT DEVELOPMENT CODE

Exempt development under the Temporary Uses and Structures Exempt Development Code applies to this land. This information needs to be read in conjunction with the whole of the State Environmental Planning Policy (Exempt and Complying Development Codes) 2008.

| | |
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| 6 | AFFECTED BUILDING NOTICES AND BUILDING PRODUCT RECTIFICATION ORDERS (<i>BUILDING PRODUCT SAFETY ACT 2017</i>) |
|----------|--|

1(a) Is there any affected building notice of which the council is aware that is in force in respect of the land?

No

1(b) Is there any building product rectification order of which the council is aware that is in force in respect of the land and has not been fully complied with?

No

1(c) Is there any notice of intention to make a building product rectification order of which the council is aware has been given in respect of the land and is outstanding?

No

In this section—

affected building notice has the same meaning as in the *Building Products (Safety) Act 2017*, Part 4.

building product rectification order has the same meaning as in the *Building Products (Safety) Act 2017*

| | |
|----------|--------------------------------------|
| 7 | LAND RESERVED FOR ACQUISITION |
|----------|--------------------------------------|

The following environmental planning instruments and proposed environmental planning instruments make provisions for the acquisition of the land by a public authority as referred to in Section 3.15 of the Act:

Nil

| | |
|----------|---|
| 8 | ROAD WIDENING AND ROAD ALIGNMENT |
|----------|---|

(a) DIVISION 2 OF PART 3 OF THE *ROADS ACT 1993*

The land is not affected by road realignment or road widening under the above.

(b) ENVIRONMENTAL PLANNING INSTRUMENT

The land is not affected by road widening or road re-alignment under the above.

(c) COUNCIL RESOLUTIONS

The land is not affected by road widening or road re-alignment under the above.

| | |
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| 9 | FLOOD RELATED DEVELOPMENT CONTROLS |
|----------|---|

(1) The land or part of the land **is** within the flood planning area and **is** subject to flood related development controls.

(2) The land or part of the land **is** between the flood planning area and the probable maximum flood and **is** subject to flood related development controls.

(3) In this section—

flood planning area has the same meaning as in the Floodplain Development Manual.

Floodplain Development Manual means the Floodplain Development Manual (ISBN 0 7347 5476 0) published by the NSW Government in April 2005.

probable maximum flood has the same meaning as in the Floodplain Development Manual.

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| 10 | COUNCIL AND OTHER PUBLIC AUTHORITY POLICIES ON HAZARD RISK RESTRICTIONS |
|-----------|--|

This land **is** affected by a policy adopted by the council or other public authority that restricts the development of the land because of the likelihood of risk restrictions. This land **is** affected because:

Acid sulfate class 5.

In this section—

adopted policy means a policy adopted—

- (a) by the council, or
- (b) by another public authority, if the public authority has notified the council that the policy will be included in a planning certificate issued by the council.

| | |
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| 11 | BUSH FIRE PRONE LAND |
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The information currently available to Council indicates that **some** of the land is bushfire prone land (as defined in the Act).

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| 12 | LOOSE-FILL ASBESTOS INSULATION |
|-----------|---------------------------------------|

This land does not include any residential premises (within the meaning of Division 1A of Part 8 of the *Home Building Act 1989*) that are listed on the register that is required to be maintained under that Division. That register lists residential premises that contain or have contained loose-fill asbestos insulation.

| | |
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| 13 | MINE SUBSIDENCE |
|-----------|------------------------|

The land **IS NOT WITHIN** a Mine Subsidence District declared under section 20 of the *Coal Mine Subsidence Compensation Act 2017*.

| | |
|-----------|--------------------------------------|
| 14 | PAPER SUBDIVISION INFORMATION |
|-----------|--------------------------------------|

- (1) The name of any development plan adopted by a relevant authority that:
 - (a) applies to this land or
 - (b) that is proposed to be subject to a consent ballot.

Nil

- (2) The date of any subdivision order that applies to this land.

Not applicable

Words and expressions used in this clause have the same meaning as they have in Part 10 of the *Environmental Planning and Assessment Regulation 2021* and Schedule 7 of the *Environmental Planning and Assessment Act 1979*.

| | |
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| 15 | PROPERTY VEGETATION PLANS |
|-----------|----------------------------------|

Council **has not** been notified by Local Land Services – Greater Sydney that the land is subject to a property vegetation plan approved under Part 4 of the *Native Vegetation Act 2003*.

| | |
|-----------|---------------------------------------|
| 16 | BIODIVERSITY STEWARDSHIP SITES |
|-----------|---------------------------------------|

Council **has not** been notified by the Director-General of the Department of Planning and Environment that the land is a biodiversity stewardship site under a biodiversity stewardship agreement under Part 5 of the Biodiversity Conservation Act, 2016.

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No

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No

- (c) The land to which the certificate relates is the subject of an approved voluntary management proposal within the meaning of that Act - if it is the subject of such an approved proposal at the date when the certificate is issued,

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Signed on Behalf of Central Coast Council

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